

Merton Council

Planning Applications Committee

Membership

Councillors

Linda Kirby (Chair)

John Bowcott (Vice-Chair)

Tobin Byers

David Dean

Ross Garrod

Daniel Holden

Abigail Jones

Philip Jones

Peter Southgate

Geraldine Stanford

Substitute Members:

Janice Howard

Najeeb Latif

Ian Munn BSc, MRTPI(Rtd)

John Sargeant

Imran Uddin

A meeting of the Planning Applications Committee will be held on:

Date: 21 April 2016

Time: 7.15 pm

**Venue: Council chamber - Merton Civic Centre, London Road, Morden
SM4 5DX**

This is a public meeting and attendance by the public is encouraged and welcomed. If you wish to speak please see notes after the list of agenda items. For more information about the agenda and the decision making process contact democratic.services@merton.gov.uk or telephone 020 8545 3357

Press enquiries: press@merton.gov.uk or telephone 020 8545 3181

Email alerts: Get notified when agendas are published
www.merton.gov.uk/council/committee.htm?view=emailer

For more information about Merton Council visit <http://www.merton.gov.uk>

Planning Applications Committee

21 April 2016

- | | | |
|----|---|-----------|
| 1 | Apologies for absence | |
| 2 | Declarations of pecuniary Interest | |
| 3 | Minutes of the previous meeting | 1 - 10 |
| 4 | Town Planning Applications - Covering Report | 11 - 14 |
| | Officer Recommendation:
The recommendations for each individual application are detailed in the relevant section of the reports. | |
| 5 | Land Adjacent to No.1 Bridge Villas, Ashcombe Road, Wimbledon, SW19 8JR | 15 - 32 |
| | Application No: 15/P1955 Ward: Wimbledon Park
Recommendation: GRANT permission subject to S106
Legal agreement and Conditions | |
| 6 | Land Adjacent To 87 Denison Road, Colliers Wood, SW19 2DJ | 33 - 78 |
| | Application No: 15/P4762 Ward: Colliers Wood
Recommendation: GRANT permission subject to S106
Legal agreement and Conditions | |
| 7 | 7 Lambourne Avene, Wimbledon Park, SW19 7DW | 79 - 106 |
| | Application No: 15/P2830 Ward: Wimbledon Park
Recommendation: GRANT permission subject to S106
Legal agreement and Conditions | |
| 8 | 16 Leamington Avenue, Morden, SM4 4DW | 107 - 134 |
| | Application No: 15/P3224 Ward: Cannon Hill
Recommendation: GRANT permission subject to S106
Legal agreement and Conditions | |
| 9 | 34 Leopold Road, Wimbledon Park, SW19 7BD | 135 - 158 |
| | Application No: 15/P1506 Ward: Wimbledon Park
Recommendation: GRANT permission subject to S106
Legal agreement and Conditions | |
| 10 | 1 St Johns Road, Wimbledon, SW19 4PH | 159 - 180 |
| | Application No: 15/P4735 Ward: Hillside
Recommendation: GRANT permission subject to
Conditions | |
| 11 | Planning Appeal Decisions | 181 - 184 |
| | Officer Recommendation:
That Members note the contents of the report. | |
| 12 | Planning Enforcement - Summary of Current Cases | 185 - 190 |
| | Officer Recommendation:
That Members note the contents of the report. | |

Declarations of Pecuniary Interests

Members are reminded of the need to have regard to the items published with this agenda and, where necessary to declare at this meeting any Disclosable Pecuniary Interest (as defined in the The Relevant Authorities (Disclosable Pecuniary Interests) Regulations 2012) in any matter to be considered at the meeting. If a pecuniary interest is declared they should withdraw from the meeting room during the whole of the consideration of that matter and must not participate in any vote on that matter. If members consider they should not participate because of a non pecuniary interest which may give rise to a perception of bias, they should declare this, withdraw and not participate in consideration of the item. For further advice please speak with the Council's Assistant Director of Corporate Governance.

Declarations of Pecuniary Interests – Members of the Design and Review Panel (DRP)

Members of the Planning Applications Committee (PAC), who are also members of the DRP, are advised that they should not participate in an item which has previously been to DRP where they have voted or associated themselves with a conclusion reached or recommendation made. Any member of the PAC who has also sat on DRP in relation to items on this PAC agenda must indicate whether or not they voted in such a matter. If the member has so voted they should withdraw from the meeting.

NOTES

- 1) **Order of items:** Please note that items may well be not considered in the order in which they are shown on the agenda since the items for which there are many observers or speakers are likely to be prioritised and their consideration brought forward.
- 2) **Speakers:** Councillors and members of the public may request to speak at the Committee. Requests should be made by telephone to the Development Control Admin. Section on 020-8545-3445/3448 (or e-mail: planning@merton.gov.uk) no later than 12 Noon on the last (working) day preceding the meeting. For further details see the following procedure note.
- 3) **Procedure at Meetings:** Attached after this page is a brief note of the procedure at Planning Application Committee meetings in relation to
 - a. requests to speak at meetings; and
 - b. the submission of additional written evidence at meetings. Please note that the distribution of documentation (including photographs/drawings etc) by the public during the course of the meeting will not be permitted.
- 4) **Copies of agenda:** The agenda for this meeting can be seen on the Council's web-site (which can be accessed at all Merton Libraries). A printed hard copy of the agenda will also be available for inspection at the meeting.

Procedure at meetings of the Planning Applications Committee

- 1 Public speaking at the Planning Applications Committee
- 2 Submission of additional written evidence at meetings

1 Public speaking at the Planning Applications Committee

- 1.1 The Council permits persons who wish to make representations on planning applications to speak at the Committee and present their views. The number of speakers for each item will be at the discretion of the Committee Chair, but subject to time constraints there will normally be a maximum of 3 objectors (or third party) speakers, each being allowed to speak for a maximum of 3 minutes.
- 1.2 Following the issue of the agenda, even if a person has previously indicated their wish to address the Committee, they should contact either
 - the Planning Officer dealing with the application (or e-mail: planning@merton.gov.uk) or
 - the Development Control Admin. Section on 020-8545-3445/3448 (9am – 5pm); or
 - the Development Control hotline 020-8545-3777 (open 1pm – 4pm only).
- 1.3 Requests to speak must be received by 12 noon on the day before the meeting, and should include the person's name, address, and daytime contact phone number (or e-mail address) and if appropriate, the organisation they represent; and also clearly indicate the application, on which it is wished to make representations.
- 1.4 More speakers may be permitted in the case of exceptional circumstances/major applications, but representatives of political parties will not be permitted to speak. (See also note 1.10 below on Ward Councillors/Other Merton Councillors.)
- 1.5 If a person is aware of other people who wish to speak and make the same points, then that person may wish to appoint a representative to present their collective views or arrange that different speakers raise different issues. Permission to speak is at the absolute discretion of the Chair, who may limit the number of speakers in order to take account the size of the agenda and to progress the business of the Committee.
- 1.6 Applicants (& agents/technical consultants): Applicants or their representatives may be allowed to speak for the same amount of time as the sum of all objectors for each application. (For example, if objectors are allowed to speak for three minutes each, then if there was only one objector, the applicant may be allowed to speak for a maximum of 3 minutes; but if there were 2 objectors, the applicant may be allowed to speak for a maximum of 6 minutes and so on.)
- 1.7 Unless applicants or their representatives notify the Council to the contrary prior to the Committee meeting, it will be assumed that they will be attending the meeting and if there are objectors speaking against their application, will take the opportunity to address the Committee in response to the objections.

- 1.8 When there are no objectors wishing to speak, but the application is recommended for refusal, then the Applicants or their representatives will also be allowed to speak up to a maximum of 3 minutes.
- 1.9 Applicants will not be allowed to speak if their application is recommended for approval and there are no objectors speaking. An exception will be made if an applicant (or their representative) wishes to object to the proposed conditions; and in this case they will be allowed to speak only in relation to the relevant conditions causing concern.
- 1.10 Speaking time for Ward Councillors/Other Merton Councillors: Councillors, who are not on the Committee, may speak for up to a maximum of 3 minutes on an application, subject to the Chair's consent, but may take no part in the subsequent debate or vote. Such Councillors, however, subject to the Chair's consent, may ask questions of fact of officers.
- 1.11 Such Councillors, who are not on the Committee, should submit their request to speak by 12 noon on the day before the meeting (so that their name can be added to the list of speaker requests provided to the Chair). Such requests may be made to the Development Control Section direct (see 1.2 above for contact details) or via the Councillor's Group office.
- 1.12 Points of clarification from applicants/objectors: If needed, the Chair is also able to ask applicants/objectors for points of clarification during the discussion of an application.

2 Submission of additional written evidence at meetings

- 2.1 The distribution of documentation (including photographs/drawings etc) during the course of the Committee meeting will not be permitted.
- 2.2 Additional evidence that objectors/applicants want to provide Committee Members (i.e. Councillors) to support their presentation (when speaking) must be submitted to Merton Council's Development Control Section before 12 Noon on the day before the relevant Committee meeting.
- 2.3 If an applicant or objector wishes to circulate additional information in hard copy form to Committee Members, they are required to provide 16 hard copies to the Planning Officer dealing with the application before 12 Noon on the day before the meeting.
- 2.4 Any queries on the above should be directed to:
 - planning@merton.gov.uk or;
 - the Development Control hotline 020-8545-3777 (open 1pm – 4pm only).
 - Contact details for Committee Members and all other Councillors can be found on the Council's web-site: <http://www.merton.gov.uk>

Agenda Item 3

All minutes are draft until agreed at the next meeting of the committee/panel. To find out the date of the next meeting please check the calendar of events at your local library or online at www.merton.gov.uk/committee.

PLANNING APPLICATIONS COMMITTEE

17 MARCH 2016

(7.15 pm - 10.30 pm)

PRESENT: Councillors Councillor Linda Kirby (in the Chair),
Councillor John Bowcott, Councillor Tobin Byers,
Councillor Ross Garrod, Councillor Daniel Holden,
Councillor Abigail Jones, Councillor Philip Jones,
Councillor Peter Southgate, Councillor Geraldine Stanford and
Councillor Najeeb Latif (Substitute for Councillor David Dean)

ALSO PRESENT: Stuart Adams (Planning Officer), Chris Chowns (Principal
Transport Planner), Jonathan Lewis (South Team Leader -
Development Control)), Neil Milligan (Development Control
Manager, ENVR) and Michael Udall (Democratic Services)

1 APOLOGIES FOR ABSENCE (Agenda Item 1)

Apologies for absence were received from Councillor David Dean.

2 DECLARATIONS OF OF PECUNIARY INTEREST (Agenda Item 2)

None.

3 MINUTES OF THE PREVIOUS MEETING (Agenda Item 3)

Councillor Ross Garrod requested that the Minute on Planning Enforcement include reference to the discussions on the Burn Bullock PH, 315 London Road, Mitcham.

RESOLVED: That the Minutes of the meeting held on 11 February 2016 be agreed as a correct record, subject to Minute 17 (Planning Enforcement – Summary of Current Cases) including the following extra preamble paragraph-

“Burn Bullock PH, 315 London Road, Mitcham, CR4 (para. 2.05) – Councillor Ross Garrod referred to the extension notice issued on 6/11/15 (to allow the required works to be completed) having an expiry date of 6/3/16 whereas the report indicated that the works should be completed by the end of March 2016. Officers indicated that information on the expiry date of the notice was not available at the meeting but did confirm that the works should be completed by the end of March 2016.”

4 TOWN PLANNING APPLICATIONS - COVERING REPORT (Agenda Item 4)

The published agenda and the modifications sheet tabled at committee form part of the Minutes.

(a) Modifications Sheet - A list of modifications for items 5,, 8, 9, 11, 12, 13, 14, 15 & 17, and additional letters/representations and drawings received since agenda publication, were tabled at the meeting.

(b) Oral Representations – The Committee received oral representations at the meeting made by third parties and applicants/agents in respect of items 5, 7, 9, 10, 11 (an objector and a supporter only), 12, 13, & 14. In each case where objectors spoke, the Chair also offered the applicants/agents the opportunity to speak; and the Chair also indicated that the applicants/agents would be given the same amount of time to speak as objectors for each item.

The Committee received no oral representations at the meeting from other Councillors (who were not members of the Committee for this meeting).

(c) Order of the agenda – Following consultation with other Members at various times during the meeting, the Chair amended the order of items to the following - 6, 5, 9, 12, 10, 11, 13, 14, 7, 8 & then 15..

RESOLVED: That the following decisions are made:

5 31B ARTERBERRY ROAD, RAYNES PARK, SW20 8AG (REF. 15/P4768)
(RAYNES PARK WARD) (Agenda Item 5)

1. Proposal - Erection of 2 x 5 bedroom semi-detached three storey dwellings including accommodation at lower ground floor level.

2. Refuse Collection – In response to a member’s concerns about car parking being located in front of the proposed refuse store, officers advised that a condition (7) was proposed that would require that details of refuse arrangements be submitted for approval (to officers). Officers also advised that the access to the site via an existing driveway was too narrow for refuse vehicles.

3. Access – Officers referred to objectors’ concerns that the access was not in the ownership of the applicants. Officers advised that this was not a town planning issue and so outside the Committee’s remit.

4. Car Parking – Permit Free – A member expressed concern that the large houses proposed could generate a considerable number of vehicles and therefore the provision of parking on site should be increased or the development should be permit free (i.e. the occupiers of the houses would not be able to apply for permits to park on-street in the controlled parking zone covering the area). Officers advised the amount of car parking on site was considered to be appropriate for the scheme but that it would be possible for both proposed dwellings to be required to be permit free (by amending the proposed Section 106 agreement). As indicated below, the Committee subsequently agreed that the development be permit free.

5. Approval Motion - It was moved and seconded that permission be granted. The motion was carried by 9 votes to 1 (Councillor Peter Southgate dissenting).

Decision: Item 5 - ref. 15/P4768 (31B Arterberry Road, Raynes Park, SW20)

GRANT PERMISSION subject to the completion of a Section 106 Agreement and subject to the conditions set out in the officer case report and the tabled modifications sheet, subject to -

(a) Car Parking – Permit Free – An additional Head of Term in the Section 106 agreement requiring that the development be permit free.

6 LAND ADJACENT TO NO.1 BRIDGE VILLAS, ASHCOMBE ROAD, WIMBLEDON, SW19 8JR (REF. 15/P1955) (WIMBLEDON PARK WARD) (Agenda Item 6)

1. Proposal - Erection of two storey block with accommodation in the roofspace comprising four flats (2x 1 bed and 2x 2 bed).

2. Officers advised that site was just within the safeguarding zone for Crossrail 2; and requested that the item be deferred for further investigations.

Decision: Item 6 - ref. 15/P1955 (Land adjacent to No.1 Bridge Villas, Ashcombe Road, Wimbledon, SW19 8JR)

That consideration of the application be DEFERRED to a future meeting.+

7 27 CANNON HILL LANE, RAYNES PARK, SW20 9JY (REF. 15/P3653) (CANNON HILL WARD) (Agenda Item 7)

1. Proposal - Conversion of dwelling into 5 flats, including two storey side extension with living space at roof level, excavation of basement, single storey rear extension, rear roof extension, roof lights to front roof slope, replacement of rear windows and parking for 4 cars and 9 cycles.

2. Parking Spaces – There was discussion of whether the current proposal for 4 parking spaces for the 5 flats should be increased by one space so that there would be 5 parking spaces for the 5 flats. Officers advised that the current proposal for 4 parking spaces would give the proposed development a better appearance and be better in terms of pedestrian safety. As indicated below, the Committee approved the application as proposed with 4 parking spaces.

3. Affordable Housing – Possible Clawback – Members noted that the officer report stated that the independent viability assessment of the scheme had concluded that that the scheme was unable to support an affordable housing contribution; and that therefore officers recommended that any approval be not subject to a financial contribution towards affordable housing. A member suggested that this needed to be subject to further review (once the scheme was being constructed or had been built).

3.1 Officers outlined the relevance of the recent history of the law on affordable housing contributions (including the Court of Appeal overturning a Government's decision opposing such contributions) on the current and previous applications for

this site. Officers also suggested that it would be unreasonable to impose such a review mechanism on such a small site. As indicated below, the Committee subsequently approved the application without imposing any review of a possible affordable housing contribution.

3. Approval – The application was approved by 9 votes to nil.

Decision: Item 7 - ref. 15/P3653 (27 Cannon Hill Lane, Raynes Park, SW20)

GRANT PERMISSION subject to the conditions set out in the officer case report.

8 81 DORA ROAD, WIMBLEDON PARK, SW19 7JT (REF. 15/P3969)
(WIMBLEDON PARK WARD) (Agenda Item 8)

1. Proposal - Conversion of an integrated garage into habitable rooms, with alterations to front elevation including new timber front door and entrance canopy.

Decision: GRANT PERMISSION subject to the conditions set out in the officer case report and the tabled modifications sheet.

9 17 ERNLE ROAD, WEST WIMBLEDON, SW20 0HH (REF. 15/P3751)
(VILLAGE WARD) (Agenda Item 9)

1. Proposal - Excavation of basement with front and rear lightwells

2. Borehole location – In response to objectors allegations in their oral representations (and in their written representations referred to paragraph 6.1 of the officer report) that one of the applicant's boreholes had not taken place in a neighbour's garden to the west of the site as shown in the application papers, the applicant's representative in their oral representations advised that the plan showing the location of the boreholes was not that accurate.

3. Piling Method – Amendment to Condition (7) (Construction Method Statement) – A member referred to the close proximity of the proposed basement development to No.19 Ernle Road and the need for an appropriate method of piling to avoid a high level of vibration. Officers advised that it would be possible to amend the wording of proposed condition (7) to ensure that the method of piling was (i) subject to approval and (ii) avoided a high level of vibration.

3.1 As indicated below, the Committee subsequently agreed to an appropriate amendment to condition (7) and that officers be delegated authority to agree the detailed wording.

3.2 Vibration Monitoring Equipment - A member also suggested that adequate vibration monitoring equipment be installed. Officers advised that this was Party Wall issue (and so not a matter where the Committee could impose a requirement).

4. Approval – The application was approved unanimously.

Decision: Item 9 - ref. 15/P3751 (17 Ernle Road, West Wimbledon, SW20)

(A) GRANT PERMISSION subject to the conditions set out in the officer case report and the tabled modifications sheet subject to -

(i) Piling Method – Amendment to Condition (7) (Construction Method Statement) - The wording of proposed condition (7) be amended to ensure that the method of piling was (i) subject to approval and (ii) avoided a high level of vibration, all subject to (B) below

(B) Delegation: The Director of Environment & Regeneration be delegated authority to amend condition (7) to be attached to the planning consent for this site.

10 14 GROSVENOR HILL, WIMBLEDON, SW19 4SA (REF. 15/P3909)
(VILLAGE WARD) (Agenda Item 10)

1. Proposal - Demolition of existing house and erection of a five bedroom detached house with basement accommodation.

2. Landscaping – There was considerable discussion regarding the possible impact of the proposed development on Mulberry Cottage, No15 Grosvenor Hill. A suggestion of possibly amending the proposed landscaping conditions, so as require that extra planting be provided to help screen the proposed development from Mulberry Cottage was not adopted by the Committee. It was noted that such screening could possibly be overbearing.

3. Approval Motion - It was moved and seconded that permission be granted. The motion was carried by 6 votes to 2 (Councillors John Bowcott and Ross Garrod dissenting).

Decision: Item 10 - ref. 15/P3909 (14 Grosvenor Hill, Wimbledon, SW19 4SA)

GRANT PERMISSION subject to the conditions set out in the officer case report.

11 94-96 HAYDONS ROAD AND 1-3 QUICKS ROAD, SOUTH WIMBLEDON,
SW19 1HJ (REF. 15/P4595 (ABBEY WARD) (Agenda Item 11)

1. Proposal - Variation of Condition 2 of Planning Permission 15/P2070 for the redevelopment of site to provide 9 x residential units (comprising 1 x 1 bed, 6 x 2 bed and 2 x 3 bed flats) and 177.5 square metres of commercial space on ground floor.

2. Consultation – Officers advised that paragraph 5.1 (line 3), referring to the 8 representations received, should be corrected to read “4 objections and 4 expressing support” (instead of “6 objections and 2 expressing support”).

3. Brickwork – Samples of the proposed new brickwork for the development were displayed at the meeting and were available for inspection..

4. Rear Wall of 48 Trafalgar Road – Officers referred to an objector’s suggestion that the rear wall of 48 Trafalgar Road be replaced at the existing height of 3,6m (instead of 2.1m as proposed in the development) in order to protect the security and amenities of neighbouring occupiers. Officers advised that 2.1m was the standard height for walls between neighbours.

5. Penthouse Flat – Screening Condition – A member queried whether a condition had been imposed further to paragraph 7.19 of the officer report which stated that “a condition could be imposed on any approval to include obscure glazed screening to the rear elevation (of the penthouse flat) of at least 1,8m, as was the previous case for the previous planning permission 15/P2070”. Officers advised that the conditions imposed on the original planning permission 15/P2070 would still continue to apply (subject to any changes approved at this meeting) and undertook to check that such a screening condition would still apply.

Decision: Item 11 - ref. 15/P4595 (94-96 Haydons Road and 1-3 Quicks Road, South Wimbledon, SW19 1HJ)

GRANT Variation of Condition 2 of Planning Permission 15/P2070 subject to conditions and deed of variation to S106 agreement as set out in the officer case report and the tabled modifications sheet.

12 8 HAZELBURY CLOSE, MERTON PARK, SW19 3JL (REF. 16/P0104)
(MERTON PARK WARD) (Agenda Item 12)

1. Proposal - Application for variation of condition 2 (approved plans) and the variation of condition 7 (code for sustainable homes) attached to LBM planning permission 14/P3132 (dated 27/08/2014) relating to the demolition of existing bungalow and the erection of a new two storey 4 x bedroom dwelling house.

2. External Materials – Samples of the proposed external materials for the development, referred to on page 2 of the tabled modifications sheet, were displayed at the meeting and were available for inspection..

3. Approval – The application was approved by 9 votes to nil.

Decision: Item 12 - ref. 16/P0104 (8 Hazelbury Close, Merton Park, SW19)

GRANT PERMISSION subject to variation of Conditions 2, 3 and 7 attached to application reference 14/P3132 granted permission on appeal, as set out in the officer case report and the tabled modifications sheet.

13 14 LAMBOURNE AVENUE, WIMBLEDON, SW19 7DW (REF. 15/P4105)
(WIMBLEDON PARK WARD) (Agenda Item 13)

1. Proposal - Application for removal of condition 5 (Obscure Glazing) attached to LBM Planning permission Ref.12/P0125 (dated 06/03/2012) relating to the demolition of existing house and erection of a six bedroom house (with accommodation within the roofspace and at basement level)

1.1 Officers explained that the current application related to the front “staircase window” only; and that the little man figure on the plan on page 22 of the tabled modifications sheet showed the location of the landing of the staircase where the window was located.

2. Approval – The application was approved unanimously.

Decision: Item 13 - ref. 15/P4105 (14 Lambourne Avenue, Wimbledon, SW19)

GRANT removal of condition 5 (Obscure Glazing) attached to LBM Planning permission Ref.12/P0125 as set out in the officer case report and the tabled modifications sheet.

14 THE CRICKETERS PH, 340 LONDON ROAD, MITCHAM, CR4 3ND (REF. 15/P0890) (CRICKET GREEN WARD) (Agenda Item 14)

1. Proposal - Demolition of existing buildings and construction of a part 2, part 3 storey building to provide 10 homes with associated access, car parking, cycle parking, refuse/recycling storage and landscaping.

2. Affordable Housing – Officers clarified that paragraph 7.10 of the officer report should have stated that the independent viability assessment of the scheme had concluded that that the scheme was unable to support an affordable housing contribution, whether on-site or off-site.

2.1 Affordable Housing – Clawback - Members expressed concern that any approval wouldn't be subject to a financial contribution towards affordable housing; and that this needed to be subject to further review (once the scheme was being constructed or had been built). Officers confirmed that it would be possible for any approval to be subject to a Section 106 Agreement including a provision for a review mechanism for determining whether it would be viable for the scheme to make an affordable housing contribution later in the development timetable.

3. Refuse Store – Extra Condition – In response to a Member's query, officers undertook to ensure that any approval was subject to an extra condition regarding the need for approval of the location of the refuse store, if such a condition was not already proposed.

4. External Materials – Submission to Members – During discussions, various Members suggested that, if the application was approved, the external materials which would be required to be submitted for approval (further to the proposed conditions) should be submitted to the Committee for approval (instead of only to officers).

5. Design Review Panel – It was noted that the current application had not been submitted to the Design Review Panel (DRP) for comment. Reference was made to the significance of the application site within the Conservation Area and its location next to two locally listed buildings and the need therefore for a good quality design and materials. As indicated below the Committee decided that the application should be referred to the DRP prior to the Committee making any decision.

Decision: Item 14 - ref. 15/P0890 (The Cricketers PH, 340 London Road, Mitcham, CR4 3ND)

That consideration of the application be DEFERRED to a future meeting in order that the application can be first submitted to the Design Review Panel (DRP) for comment.

15 THE WILLIAM MORRIS PH, 20 WATERMILL WAY, COLLIERS WOOD, SW19 2RD (REF. 15/P0615) (COLLIERS WOOD WARD) (Agenda Item 15)

1. Proposal - Alteration and extension to existing public house and restaurant, including new Micro-Brewery (B2 Use) and Shop

2. Coloured Images – Officers circulated to Councillors at the meeting coloured hard copies of some of the 3D computer generated images (of the proposed alteration and extensions) included in the officer report and tabled modifications sheet.

Decision: Item 15 - ref. 15/P0615 (The William Morris PH, 20 Watermill Way, Colliers Wood, SW19 2RD)

GRANT PERMISSION subject to the conditions set out in the officer case report and the tabled modifications sheet.

16 MEETING BREAK (Agenda Item)

After consideration of item 7, at about 10.10pm, the Committee adjourned its discussions for about 10 minutes.

17 PLANNING APPEAL DECISIONS (Agenda Item 16)

RECEIVED

18 PLANNING ENFORCEMENT - SUMMARY OF CURRENT CASES (Agenda Item 17)

1. Modifications: Officers drew attention to the list of modifications for various items tabled at the meeting detailing amendments to this item including to (a) paragraph 2.05 (Burn Bullock PH, 315 London Road, Mitcham, CR4).

RECEIVED

19 MODIFICATIONS SHEET (FOR VARIOUS ITEMS) (Agenda Item 18)

See above Minutes on

- (a) Item 4 (Town Planning Applications – Covering Report); and
- (b) Item 17 (Planning Enforcement – Summary of Current Cases).

20 MICHAEL UDALL, DEMOCRATIC SERVICES OFFICER (Agenda Item)

The Chair referred to this being Michael Udall's last meeting prior to retiring and leaving Merton; and expressed her appreciation of his work for the Committee over a number of years.

This page is intentionally left blank

Committee: PLANNING APPLICATIONS COMMITTEE

Date: 21st April 2016

Wards: ALL

Subject: TOWN PLANNING APPLICATIONS – Covering Report

Lead officer: James McGinlay - Head of Sustainable Communities

Lead member: COUNCILLOR LINDA KIRBY, CHAIR OF PLANNING APPLICATIONS COMMITTEE

Contact officer: For each individual application, see the relevant section of the report.

Recommendations:

A. The recommendations for each individual application are detailed in the relevant section of the reports. (NB. The recommendations are also summarised on the index page at the front of this agenda).

1. PURPOSE OF REPORT AND EXECUTIVE SUMMARY.

1.1. These planning application reports detail site and surroundings, planning history, describe the planning proposal, cover relevant planning policies, outline third party representations and then assess the relevant material planning considerations.

2. DETAILS

2.1 This report considers various applications for Planning Permission and may also include applications for Conservation Area Consent, Listed Building Consent and Advertisement Consent and for miscellaneous associated matters submitted to the Council under the Town & Country Planning Acts.

2.2. Members' attention is drawn to Section 38(6) of the Planning and Compulsory Purchase Act 2004 which requires that if regard is to be had to the development plan for the purpose of any determination to be made under the Planning Acts, the determination must be made in accordance with the plan unless material considerations indicate otherwise.

- 2.3 In Merton the Development Plan comprises: The London Plan (March 2015) the Merton LDF Core Planning Strategy (July 2011), the Merton Sites and Policies Plan (June 2014), and The South West London Waste Plan (March 2012). The National Planning Policy Framework (“NPPF”) which came into effect in March 2012 and the National Planning Policy Guidance, published in March 2014 are also of particular relevance in the determination of planning applications.
- 2.4 Members’ attention is also drawn to Section 16 (2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 (1990 Act), regarding applications for Listed Building Consent which places a statutory duty on the Council as local planning authority to have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses”.
- 2.5 With regard to Conservation Areas, Section 72(1) of the 1990 Act provides that “special attention shall be paid to the desirability of preserving or enhancing the character or appearance” of the conservation area when determining applications in those areas.
- 2.6 Each application report details policies contained within the Development Plan. For ease of reference and to introduce some familiarity, the topics covered by the policies are outlined in brackets. In the event that an application is recommended for refusal the reasons will cover policies in the Development Plan.
- 2.7 All letters, petitions etc. making representations on the planning applications which are included in this report will be available, on request, for Members at the meeting.
- 2.8 Members will be aware that certain types of development are classed as "Permitted Development" and do not require planning permission.
- 2.9 The Council's Scheme of Management provides for officers to determine generally routine, applications, including householder applications, applications for new housing that have not been the subject of local interest at consultation stage and with which there is an associated S106 undertaking, provided that it would not contain any heads of terms or contributions that are not a standard requirement of the Local Plan or (for proposals where a standard requirement has been subject to modification through negotiation or otherwise) depart significantly from the standard requirement of the Local Plan; and applications for advertisement consent.
- 3. SUSTAINABLE DEVELOPMENT AND ENVIRONMENTAL IMPACT ASSESSMENT**
- 3.1 There is a need to comply with Government guidance that the planning process should achieve sustainable development objectives. It is for this reason that each report contains a section on sustainability and environmental impact assessment requirements.

- 3.2 Resolution 42/187 of the United Nations General Assembly defined sustainable development as "development which meets the needs of the present without compromising the ability of future generations to meet their own needs. The NPPF states that "the purpose of the planning system is to contribute to the achievement of sustainable development" and that "there are three dimensions to sustainable development: economic, social and environmental".
- 3.3 The NPPF states that "pursuing sustainable development involves seeking positive improvements in the quality of the built, natural and historic environment, as well as in people's quality of life", and that "at the heart of the National Planning Policy Framework is a **presumption in favour of sustainable development**, which should be seen as a golden thread running through both plan-making and decision-taking".
- 3.4 It is also important that relevant applications comply with requirements in respect of environmental impact assessment as set out in the Town & Country Planning (Environmental Impact) Regulations 2011 (As amended). Each report contains details outlining whether or not an environmental impact assessment was required in the consideration of the application and, where relevant, whether or not a screening opinion was required in the determination of the application. Environmental impact assessments are needed in conjunction with larger applications in accordance with relevant regulations. In some cases, which rarely occur, they are compulsory and in others the Council has a discretion following the issue of a screening opinion. In practice they are not needed for the large majority of planning applications.

4 ALTERNATIVE OPTIONS

- 4.1. None for the purposes of this report, which is of a general nature outlining considerations relevant to the reports for specific land development proposals.

5. CONSULTATION UNDERTAKEN OR PROPOSED

- 5.1 Not required for the purposes of this report.

6 TIMETABLE

- 6.1. As set out in the body of the report.

6 FINANCIAL, RESOURCE AND PROPERTY IMPLICATIONS

- 6.1. None for the purposes of this report unless indicated in the report for a particular application.

7 LEGAL AND STATUTORY IMPLICATIONS

- 7.1. As set out in the body of the report.

8 HUMAN RIGHTS, EQUALITIES AND COMMUNITY COHESION IMPLICATIONS

- 8.1. These applications have been considered in the light of the Human Rights Act ("The Act") and in particular, the First Protocol of Article 1 (Protection of Property); Article 6 (Rights to a Fair Trial) and Article 8 (Private and Family

Life) which came into force on 2 October 2000.

- 8.2. Consideration has been given to the impact of each application on the people living and working in the vicinity of that particular application site and to the impact of the proposals on the persons who have made written representations on the planning merits of the case. A full assessment of material planning considerations has been included in each Committee report.
- 8.3. Third party representations and details of the application proposals are summarised in each Committee report. It may be that the policies and proposals contained within the Development Plan and/or other material planning considerations will outweigh the views of third parties and/or those of the applicant.

9 CRIME AND DISORDER IMPLICATIONS

- 9.1. As set out in the body of the report.

10 RISK MANAGEMENT AND HEALTH AND SAFETY IMPLICATIONS

- 10.1. As set out in the body of the report.

11 APPENDICES – THE FOLLOWING DOCUMENTS ARE TO BE PUBLISHED WITH THIS REPORT AND FORM PART OF THE REPORT

- 11.1 None for the purposes of this report.

12. BACKGROUND PAPERS

- Background papers – Local Government (Access to Information) Act 1985
- Planning application files for the individual applications.
- London Plan (2015)
- Merton LDF Core Planning Strategy (2011)
- Merton Sites and Policies Plan (2014)

- Appropriate Government Circulars and Guidance Notes and in particular the NPPF and NPPG.
- Town Planning Legislation.
- The Mayor of London's Supplementary Planning Guidance.
- Merton's Supplementary Planning Guidance.
- Merton's Standard Planning Conditions and Reasons.
- Town & Country Planning (Environmental Impact Assessment) Regulations 2011 (As amended).

PLANNING APPLICATIONS COMMITTEE
21st April 2016

Item No:

UPRN

APPLICATION NO.

DATE VALID

15/P1955

22/07/2015

Address/Site:

Land Adjacent to No.1 Bridge Villas, Ashcombe Road, Wimbledon, SW19 8JR

(Ward)

Wimbledon Park

Proposal:

Erection of two storey block with accommodation in the roofspace comprising four flats (2x 1 bed and 2x 2 bed)

Drawing Nos:

L1A (Site Location Plan), 2D(site plan as proposed), 3C (Ground floor Plan), 4D(first and second floor), 5B & 6C (elevations)

Contact Officer:

David Gardener (0208 545 3115)

RECOMMENDATION

GRANT Planning Permission Subject to a S106 Legal Agreement and Conditions

CHECKLIST INFORMATION

- Heads of agreement: Permit free, Affordable housing
- Is a screening opinion required: No
- Is an Environmental Statement required: No
- Has an Environmental Impact Assessment been submitted: No
- Press notice: No
- Site notice: Yes
- Design Review Panel consulted: No
- Number of neighbours consulted: 13
- External consultations: None

1. INTRODUCTION

- 1.1 The applications have been brought before the Planning Applications Committee due to the number of objections received.

2. SITE AND SURROUNDINGS

- 2.1 The application site comprises a separate parcel of land located between the side garden boundary of a two storey house, No.1 Bridge Villas, Ashcombe Road, to the north and the railway lines to the south. 1, Bridge Villas is the end house in a terrace of 3 two storey houses on the western side of Ashcombe Road.
- 2.2 The site has its own frontage with Ashcombe Road immediately north of the road bridge going over the railway lines. The land to the west and south forms part of the designated Green Corridor and Site Of Importance for Nature Conservation in the Council's adopted Sites and Policies Plan (July 2014) which follows the railway line.
- 2.3 The application site has a PTAL rating of 6a (excellent) and is not located in a conservation area. The site is also located in a controlled parking zone (Zone 3E).

3. CURRENT PROPOSAL

- 3.1 The application is to erect a detached building containing four flats (1 x 2 bedroom (2 person) & 2 x 2 person (3 person)). The proposed flats would be arranged over three floors including roof space accommodation. The one bedroom flats would be located at ground floor level and the two bedroom flats at first and second floor levels.
- 3.2 The building would have a traditional design with two double height front bay windows with small gable roofs over to match the adjoining property and a double gable projecting from the main roof at the rear. It would comprise off-white smooth render to the external walls with cast stone mouldings, slate roof, and timber sash windows.
- 3.3 Private gardens would be provided at the rear of the building for each of the ground floor one bedroom flats. The two bedroom flats would have both first floor balconies as well as a communal garden for both upper flats to the side of the building. Cycle parking and bin storage are also provided.
- 3.4 The application has been amended since it was originally submitted with the first floor reduced in depth by 1.9m, the ground floor reduced in depth by 80cm, and the rear part of the building redesigned so that it now features a two twin pitch roofs with gable ends facing the rear gardens rather than a flat roof over the first floor. The ground floor flats would have a gross internal floor area (GIA) of approx. 52.8 sqm whilst the flats above would have a GIA of approx. 78sqm (floor area with a minimum of 2m internal floor height).

4. PLANNING HISTORY

The following planning history is relevant:

- 4.1 MER873/81 – Erection of office and storage building. Refused - 14/01/1982
- 4.2 08/P2052 - Erection of 2 x three bedroom houses, (2 storeys in height with accommodation within roofspace. Refused - 18/09/2008, for the following reasons:
- “ The proposed residential development, by reason of its design, scale, location and appearance, would not respond to the locally distinctive pattern of terraced development, would be detrimental to the appearance and character of the surrounding area and would be contrary to policies BE.16 and BE.22 of the Council’s adopted Unitary Development Plan (October 2003).”
- “ The proposed development would fail to provide a suitable standard of environment for future occupiers arising from the absence of suitable amenity/garden space to meet the needs of the two residential dwellings, and would be contrary to policies HS.1 of the Unitary Development Plan (October 2003).”
- “ The proposed development, by reason of its position, would result in the loss of existing tree, being a prevailing natural feature that contributes to the character and appearance of the area and street scene, to the detriment of the character and appearance of Ashcombe Road contrary to policy NE.11 of the Adopted Merton Unitary Development Plan (October 2003).”
- 4.3 14/P0021 - Erection of 2 x 3 bedroom dwelling houses. Withdrawn - 17/02/2014.

5. POLICY CONTEXT

- 5.1 Adopted Merton Sites and Policies Plan and Policies Maps (July 2014): DM D1 (Urban design and the public realm), DM D2 (Design considerations in all developments), DM EP2 (Reducing and mitigating noise), DM EP4 (Pollutants), DM T1 (Support for sustainable transport and active travel), DM T3 (Car parking and service standards)
- 5.2 Adopted Merton Core Strategy (July 2011) are: CS.8 (Housing Choice), CS.9 (Housing Provision), CS.14 (Design), CS.20 (Parking, Servicing and Delivery)
- 5.3 London Plan (March 2015) are: 3.3 (Increasing Housing Supply), 3.5 (Quality and Design of Housing Developments), 3.8 (Housing Choice), 5.3 (Sustainable Design and Construction), 6.13 (Parking), 7.15 (Reducing and Managing Noise, Improving and Enhancing the Acoustic Environment and Promoting Appropriate Soundscapes)

5.4 The following Supplementary Planning Guidance (SPG) is also relevant:
New Residential Development (September 1999)

6. CONSULTATION

6.1 The application was publicised by means of a site notice and individual letters to occupiers of neighbouring properties. In response, seven letters of objection have been received, including an objection from the Wimbledon Society. The objections are on the following grounds:

- Gardens too small, overdevelopment of plot, out of character with surrounding area, houses more appropriate than flats
- Impact on parking
- Disturbance/safety implications during construction works
- Visually intrusive/overbearing, loss of daylight/sunlight, loss of privacy/noise from use of rear balconies

6.2 Following amendments to the application, a further re-consultation was carried out. Two further objections were received on the grounds inadequate consultation, traffic and parking impact and overdevelopment.

6.3 The Wimbledon Society

Object on grounds of loss of privacy/potential noise from first floor rear balconies.

6.4 Environmental Health

No objection subject to a condition for the submission of a scheme for protecting future occupiers of the flats from noise and vibration from the adjacent railway line.

6.5 Crossrail 2

Crossrail 2 Safeguarding team have advised that they have no comment and have stated that the application relates to 'land outside the limits of land subject to consultation by the Crossrail 2 Safeguarding Direction.' However, this conflicts with the Crossrail 2 website, which shows the application site falling within the safeguarded area. Planning officers have brought this to the attention of the Crossrail 2 Safeguarding Team but no further response has yet been received.

7. PLANNING CONSIDERATIONS

The main planning considerations are the impact that the proposal would have on visual and residential amenity, the standard of accommodation and impact on parking/highways.

7.1 Visual Amenity

7.1.1 Policy DM D2 of the Adopted Sites and Policies Plan and Policies Maps (July 2014) states that proposals for development will be required to relate positively and appropriately to the siting, rhythm, scale, density, proportions,

height, materials and massing of surrounding buildings, whilst using appropriate architectural forms, language, detailing and materials which complement and enhance the character of the wider setting.

- 7.1.2 It is considered that the proposed development, which would comprise a detached building with a traditional appearance, with double height front bay windows to mirror No.1 Bridge Villas, is acceptable in terms of its design and appearance. The application site is located at the southern end of Ashcombe Road and abuts a railway line, which means that the front and south facing side elevations of the development will be highly prominent when viewed from the street. It is considered that No.1 Bridge Villas, which features a flat roof over the first floor rear element and a large rear dormer which is not set in from the side or rear elevations has been unsympathetically extended in recent years and as such currently has a harmful impact on the Ashcombe Road street scene, when viewed from the south. The flats have been designed to have the appearance of a single property, with an eaves, lines, ridge line, choice of materials, windows and general detailing designed to sit comfortably with neighbouring buildings. It is considered that the proposed building would improve these views with the rear element designed with two twin pitch gable roofs, which would fully integrate with the architectural style of the building.
- 7.1.3 Overall, it is considered that the current proposal would complement the character and appearance of the Ashcombe Road street scene and the wider area in general and as such accords with policy DM D2 of the Adopted Sites and Policies Plan and Policies Maps (July 2014).

7.2 Standard of Accommodation

- 7.2.1 The London Plan was published in July 2011 and sets out a minimum gross internal area standard for new homes as part of policy 3.5. It provides the most up to date and appropriate minimum space standards for Merton.
- 7.2.2 In addition, adopted policy CS.14 of the Core Strategy and DM D2 of the Adopted Sites and Policies Plan and Policies Maps (July 2014) encourages well designed housing in the borough by ensuring that all residential development complies with the most appropriate minimum space standards and provides functional internal spaces that are fit for purpose. New residential development should safeguard the amenities of occupiers by providing appropriate levels of sunlight & daylight and privacy for occupiers of adjacent properties and for future occupiers of proposed dwellings. The living conditions of existing and future residents should not be diminished by increased noise or disturbance.
- 7.2.3 As the proposed flats would exceed the minimum space standards set out in the London Plan, with each habitable room providing good outlook, light and circulation, it is considered the proposal would provide a satisfactory standard of accommodation. In addition, the proposed ground floor flats would provide between 22.3sqm and 27.5sqm of private amenity space whilst the upper floor flats would each feature a rear balcony of 5sqm. Although a two bedroom (3

person) flat would be expected to include a minimum of 6sqm of private amenity space, the 2 upper flats also have access to a south facing communal garden of 62sqm shared between them , and therefore the level of amenity space provision is considered to be acceptable.

- 7.2.4 The application site abuts a rail line and as such the applicant has submitted a noise and vibration report assessing the impact that the rail line would have on future occupants of the development. The proposal would therefore comply with policy 3.5 of the London Plan (July 2011), CS.14 of the Core Planning Strategy (July 2011) and DM D2 of the Adopted Sites and Policies Plan and Policies Maps (July 2014).

7.3 Residential Amenity

- 7.3.1 Policy DM D2 of the Adopted Sites and Policies Plan and Policies Maps (July 2014) states that proposals for development will be required to ensure provision of appropriate levels of sunlight and daylight, quality of living conditions, amenity space and privacy, to both proposed and adjoining buildings and gardens. Development should also protect new and existing development from visual intrusion.

- 7.3.2 It is considered that the proposal would not be visually intrusive or overbearing when viewed from the adjoining property, No.1 Bridge Villas. The application has been amended since it was first submitted with the rear elevation at first floor level reduced in depth by 1.9m so that it aligns with the rear elevation of the first floor rear projection at No.1 Bridge Villas. This means that only the ground floor element would project 1.1m from the rear wall of No.1 Bridge Villas which is considered acceptable given there is also a gap of approx. 1m between the proposed building and this property.

- 7.3.3 With regards to privacy the proposed building would not directly face an existing residential property whilst the rear first floor balconies would feature 1.8m high privacy screens. The proposed balconies at 5sqm are also rather small and as such would be subject to limited activity. It should also be noted that Nos. 2 and 3 Bridge Villas feature second floor rear balconies and it is considered that the proposed balconies would not result in any significant increase in overlooking of the rear garden of No.1 Bridge Villas. The proposal also passes the Council's Aspect Value Test which means it would not have an unacceptable impact on daylight/sunlight levels at No.1 Bridge Villas. Overall, it is considered that given the above considerations that the proposal would accord with policy DM D2 of the Adopted Sites and Policies Plan and Policies Maps (July 2014).

7.4 Parking and Traffic

- 7.4.1 The application site has a PTAL rating of 6a, which means it has excellent access to public transport. The scheme proposes no off-street parking provision. Policy DM T3 of the Adopted Sites and Policies Plan and Policies Maps (July 2014) states that development should only provide the level of car parking required to serve the site taking into account its accessibility by public

transport (PTAL) and local circumstances in accordance with London Plan standards unless a clear need can be demonstrated. Policy 6.13 Table 6.2 of the London Plan (March 2015) states that development of 1-2 bedrooms should provide less 1 space per unit. The level of parking provision is therefore in accordance with London Plan policy. Given the application site is located in a controlled parking zone (Zone 3E) and has excellent access to public transport it will be required that the development is permit free so that it does not create any additional parking stress in the area.

- 7.4.2 Policy DM T1 of the Adopted Sites and Policies Plan and Policies Maps (July 2014) states that development must provide cycle parking in accordance set out in the London Plan. It states that residential cycle parking facilities should be provided in secure and conveniently sited positions with good access to the street. Policy 6.13 of the London Plan states that developments must meet with minimum cycle parking standards set out in Table 6.3 which in this instance requires 1 space per 1 bedroom unit and 2 spaces per 2 bedroom units. Given the proposal would provide 8 secure bicycle spaces in the side garden it is considered the proposal would comply with local and regional planning policy.

7.5 Landscaping

- 7.5.1 The proposed development includes front, rear and side gardens. LBM Ref: 08/P2052 was refused in part because the development would have resulted in the loss of a tree that was considered to make a positive contribution to the Ashcombe Road street scene. It should be noted that this tree has been removed since the determination of LBM Ref: 08/P2052, which means that it is no longer a planning consideration given that it was not protected (the site is not in a conservation area and the tree was not subject to a tree preservation order).

8. SUSTAINABILITY AND ENVIRONMENTAL IMPACT ASSESSMENT REQUIREMENTS

- 8.1 The application does not constitute Schedule 1 or Schedule 2 development. Accordingly, there are no requirements in terms of EIA submission.

9. LOCAL FINANCIAL CONSIDERATIONS

- 9.1 The proposal would result in a net gain in gross floor space and as such will be liable to pay both the Mayoral and Merton Community Infrastructure Levies (CIL). The funds will be spent on the Crossrail project, with the remainder spent on strategic infrastructure and neighbourhood projects.

10. SECTION 106 LEGAL AGREEMENT

10.1 Affordable Housing

- 10.11 In terms of affordable housing, Policy CS.8 of the Core Planning Strategy (July 2011) requires developments of 1 – 9 units to make an off-site financial

contribution for provision of affordable housing in the borough. The affordable housing contribution is calculated based on a formula using the median open market valuation of the completed development based on three independent valuations. The proposal would result in a net increase of four residential units in this instance. After applying the formula a figure of (£154,477) would be sought as a S106 planning obligation.

10.2 Permit Free

10.21 The development is to be 'Permit Free' in line with policy CS.20 of the Core Planning Strategy, which seek to reduce reliance on private motor vehicles in locations with good access to public transport facilities.

10.22 Further information in respect of the above, including details of supplementary research carried out in justification of the S106 requirements, can be viewed here:

<http://www.merton.gov.uk/environment/planning/s106-agreements.htm>

11. **CONCLUSION**

11.1 It is considered that the proposed development would be acceptable in terms of its size and design and would not have an unacceptable impact on the Ashcombe Road street scene. The development is also considered to have an acceptable impact on neighbour amenity, traffic and parking and would provide a satisfactory standard of accommodation. Overall it is considered that the proposal would comply with all relevant planning policies and as such planning permission should be granted.

RECOMMENDATION

GRANT PLANNING PERMISSION

Subject to a S106 legal agreement with the following heads of terms:

1. That the residential units are 'Permit Free';
2. Financial contribution for affordable housing (£154,477)
3. The developer agreeing to meet the Council's costs of preparing, drafting and monitoring the Section 106 Obligations.

And the following conditions:

1. A.1 (Commencement of Development)
2. A.7 (Approved Plans)
3. B.3 (External materials as specified)

4. B.4 (Details of Site/Surface Treatment)
5. B.5 (Details of Walls/Fences)
6. B.6 (Levels)
7. C.2 (No Permitted Development (Windows and Doors))
8. C.9 (Balcony/Terrace (Screening))
9. C.4 (Obscured Glazing (Opening Windows))
10. C.7 (Refuse & Recycling (Implementation))
11. C.10 (Hours of Construction)
12. F.1 (Landscaping/Planting Scheme)
13. F.2 (Landscaping (Implementation))
14. No part of the development hereby approved shall be occupied until evidence has been submitted to the council confirming that the development has achieved not less than the CO2 reductions (ENE1), internal water usage (WAT1) standards equivalent to Code for Sustainable Homes level 4. Evidence requirements are detailed in the "Schedule of evidence Required for Post Construction Stage from Ene1 & Wat1 of the Code for Sustainable Homes Technical Guide. Evidence to demonstrate a 25% reduction compared to 2010 part L regulations and internal water usage rates of 105l/p/day must be submitted to, and acknowledged in writing by the Local Planning Authority, unless otherwise agreed in writing.

Reason: To ensure that the development achieves a high standard of sustainability and makes efficient use of resources and to comply with the following Development Plan policies for Merton: policy 5.2 of the London Plan 2011 and policy CS15 of Merton's Core Planning Strategy 2011.

15. Prior to the commencement of the development details of the provision to accommodate all site operatives, visitors and construction vehicles and loading / unloading arrangements during the construction process shall be submitted and approved in writing with the Local Planning Authority. The approved details must be implemented and complied with for the duration of the construction process.

Reason: To safeguard the amenities of the occupiers of neighbouring properties.

16. H.7 (Cycle Parking to be implemented)
17. No development shall commence until a scheme for protecting future occupiers of the flats from noise and vibration from the adjacent railway line is

submitted and approved by the Local Planning Authority. The scheme is to include acoustic data for the glazing system, and details of the noise barrier and ventilation system. The development will be required to achieve the internal and external noise standards set out in BS8233:2014. The development shall not be occupied until the details have been approved and carried out in strict accordance with the approved details and those measures shall be thereafter be permanently retained.

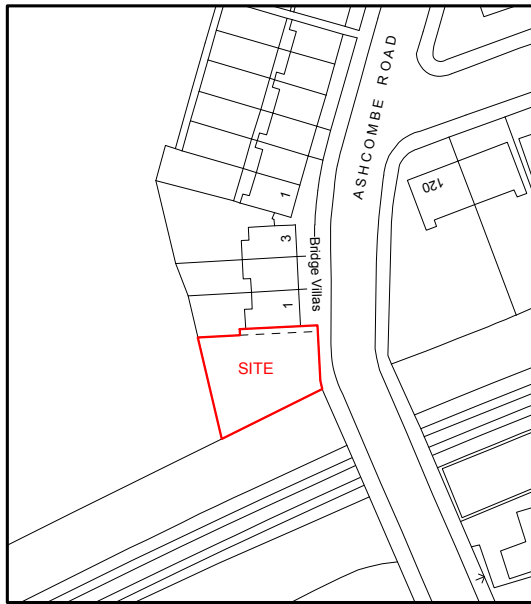
Reason: To safeguard the amenities of future occupiers of the development and ensure compliance with the following Development Plan policies for Merton: policy 7.15 of the London Plan 2015 and policies DM D2, DM EP2 and DM EP4 of Merton's Sites and Policies Plan 2014.

18. Informative – The application site is adjacent to Network railway infrastructure and as such it is advised that the applicant contacts AssetProtectionsWessex@networkrail.co.uk prior to any works commencing on site.

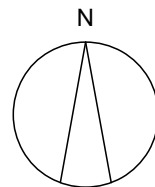
NORTHGATE SE GIS Print Template



Text Details Bridge Villas, Ashcombe Rd



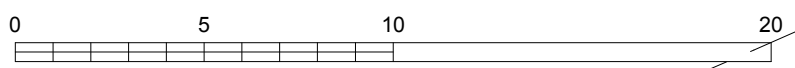
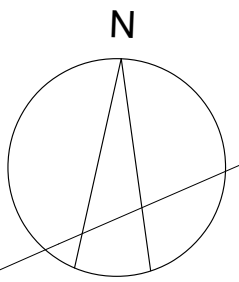
ORDNANCE SURVEY LOCATION PLAN Scale 1 : 1250



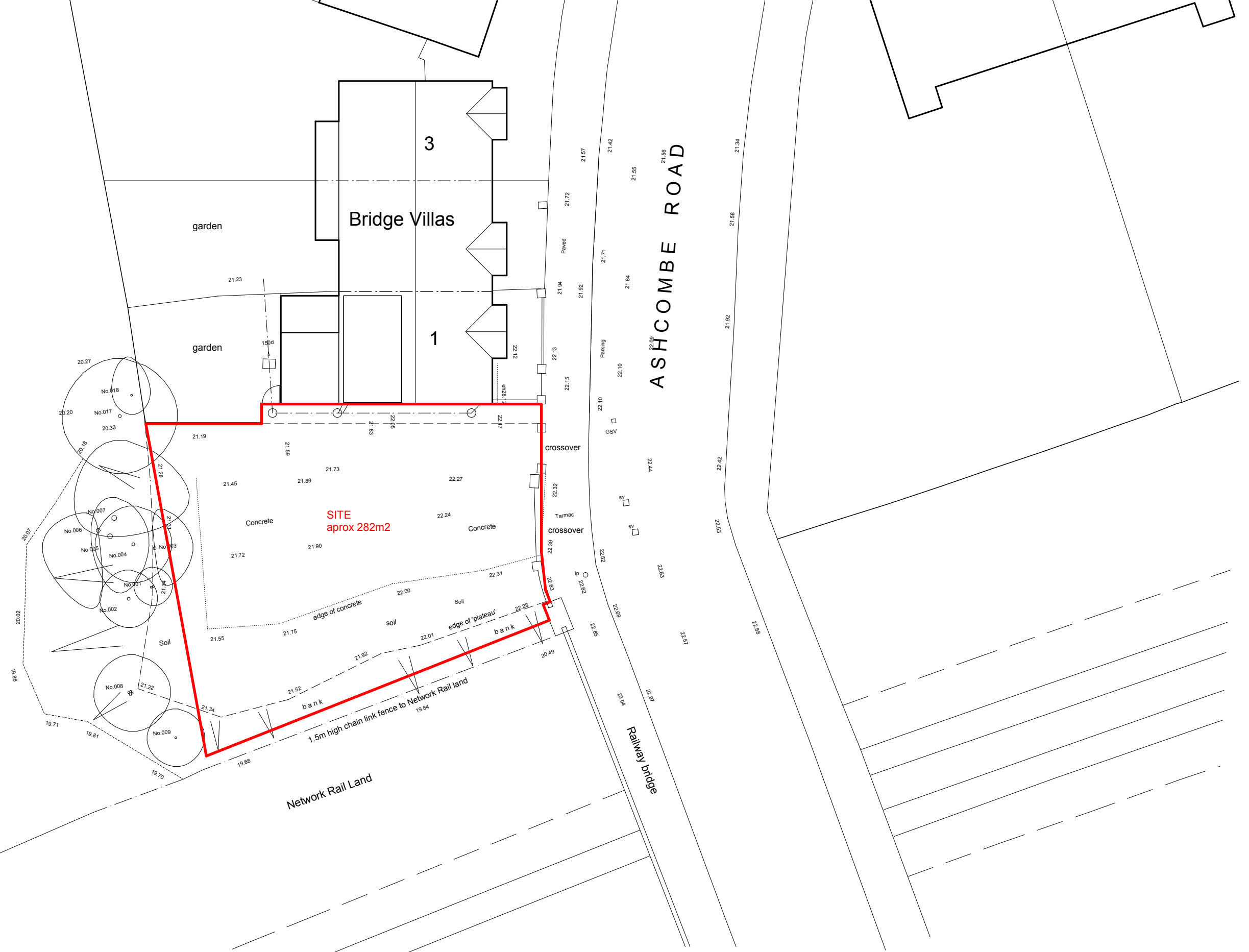
Revisions :

Copyright 2013

BRIAN SMITH R.I.B.A. Chartered Architect Suite 1, Barry House, 20-22 Worple Road, Wimbledon, London SW19 4DH Telephone: 020 8947 0088 Fax: 020 8947 6827	Client :	Scale : 1:1250 Date : Nov 2013 Drawn :	Drawing title : LOCATION PLAN
	Job title : Site Adjoining 1 Bridge Villas, Ashcombe Road, London SW19	485 B L 1 A	



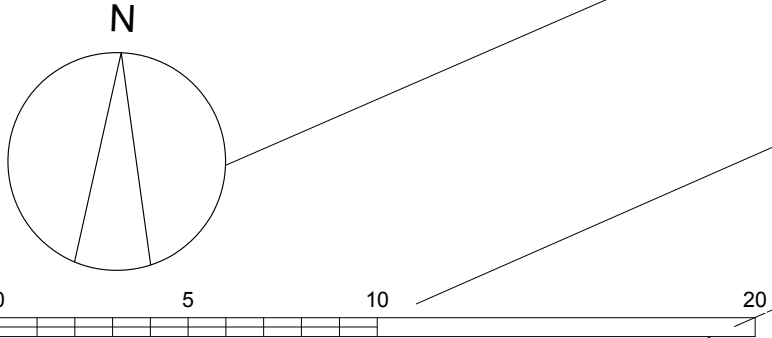
Site data based on survey by J Brotherton + Partners Jan 2012
Area outside site based on Ordnance Survey data



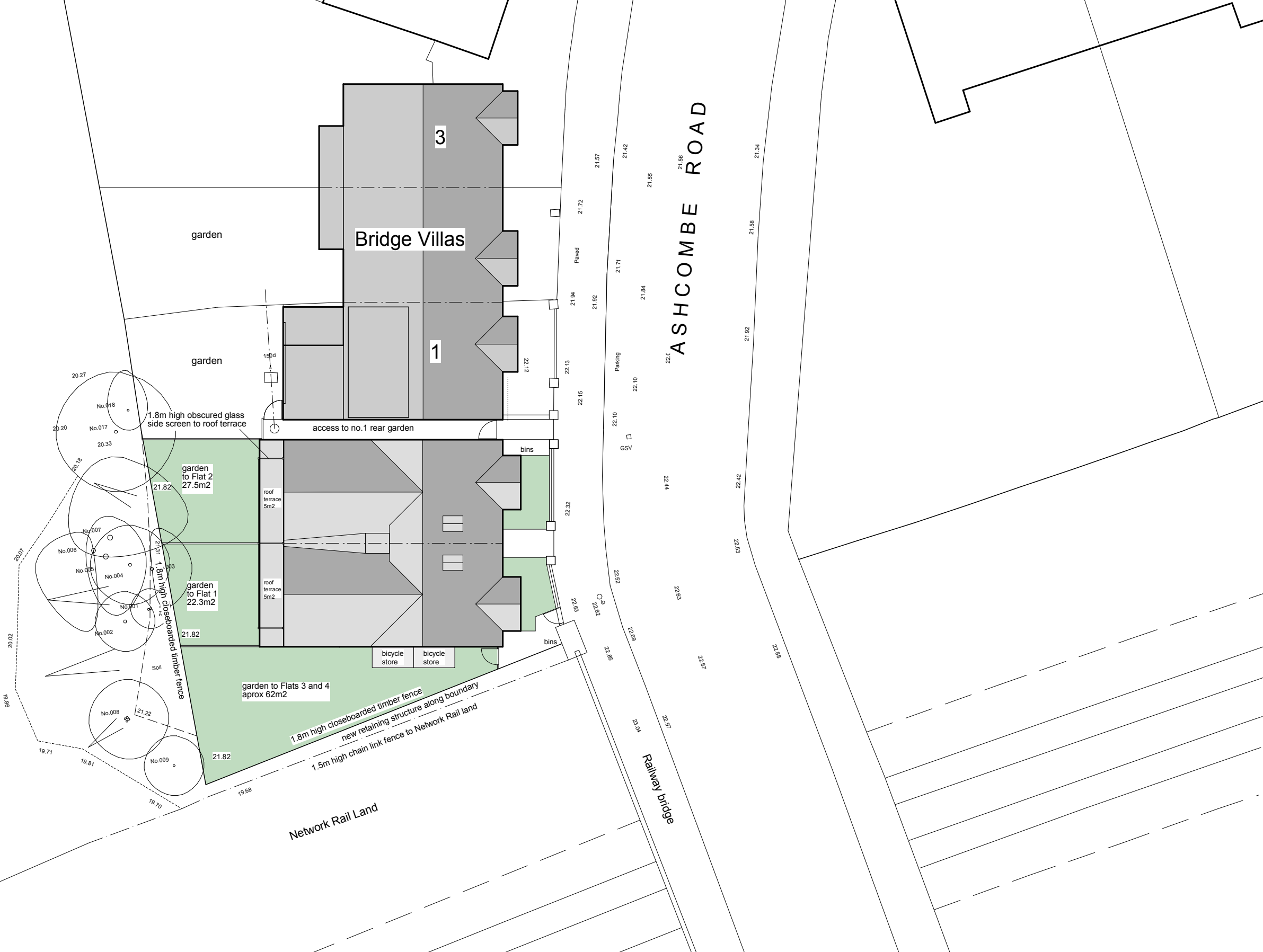
Revisions :

Copyright 2015

BRIAN SMITH R.I.B.A. Chartered Architect Suite 1, Barry House, 20-22 Worple Road, Wimbledon, London SW19 4DH Telephone: 020 8947 0088 Fax: 020 8947 6827	Client : Scale : 1:200@A3 Date : Feb 2015 Drawn :	Drawing title : SITE PLAN AS EXISTING
	Job title : Site Adjoining 1 Bridge Villas, Ashcombe Road, London SW19	485 C 1



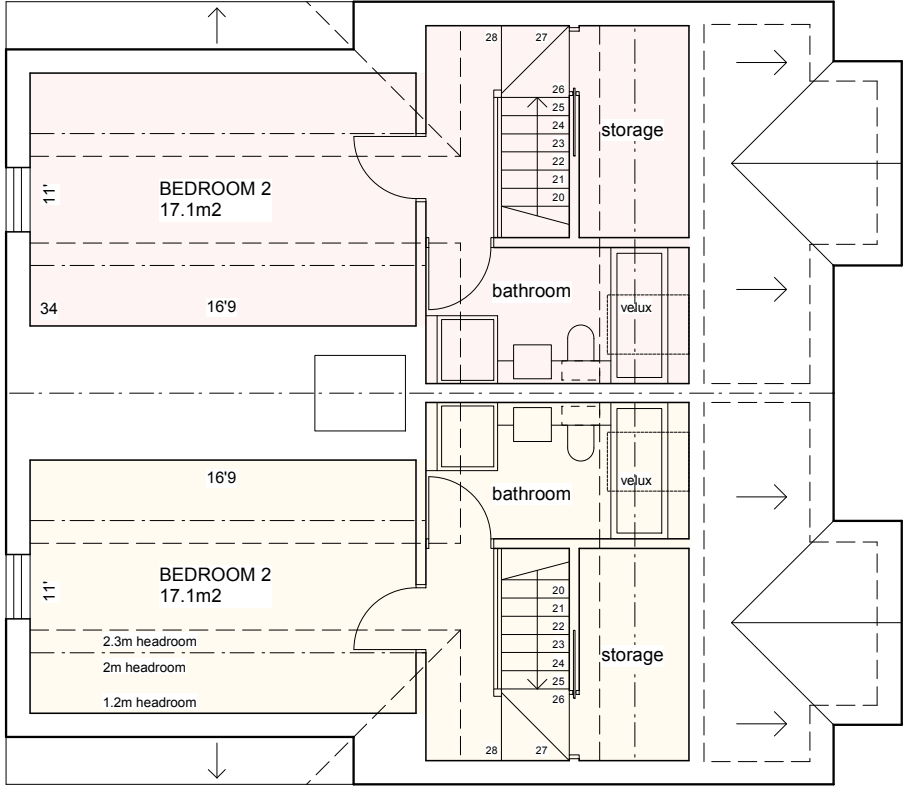
Site data based on survey by J Brotherton + Partners Jan 2012
Area outside site based on Ordnance Survey data



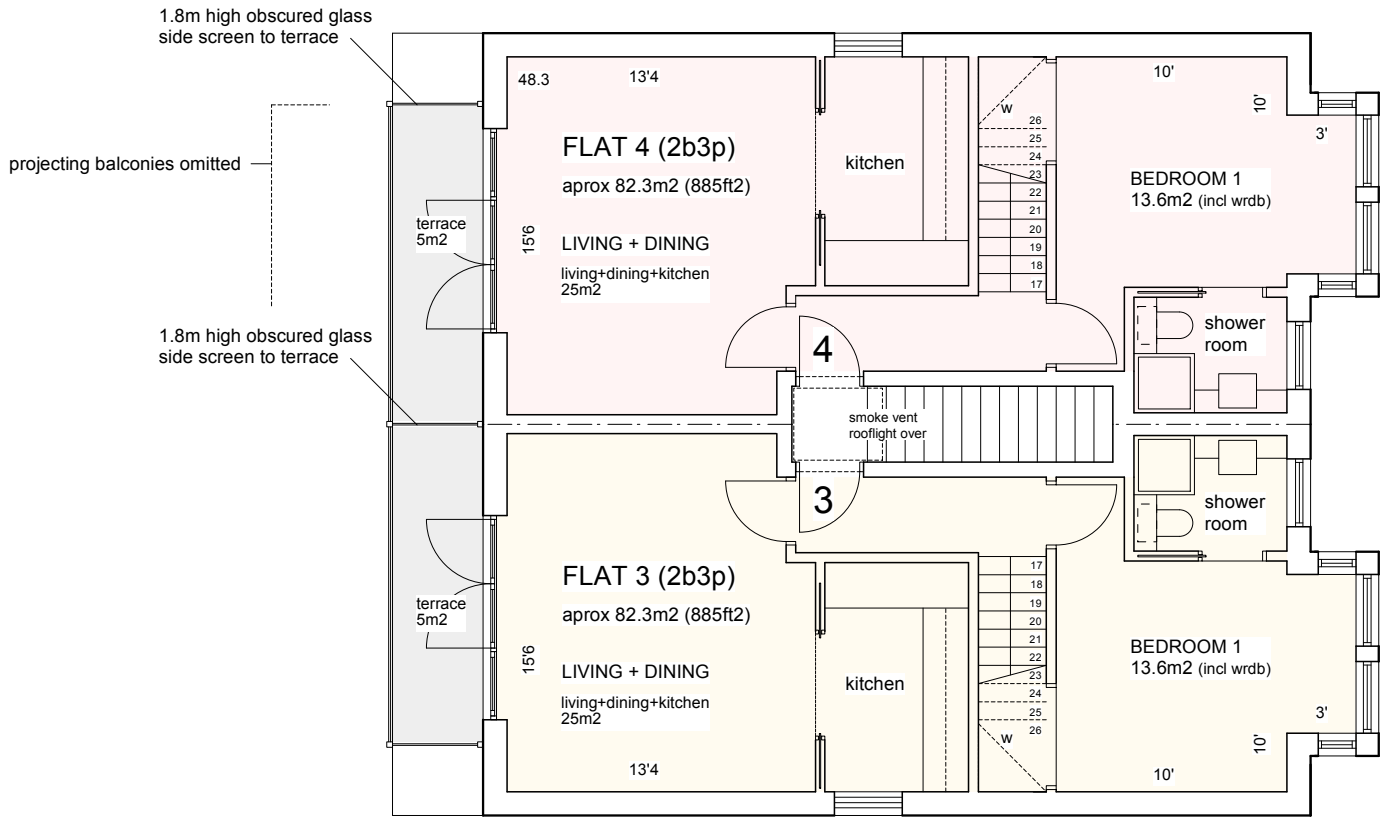
- Revisions :
- D - 26 Feb 2016 - roof over rear half amended
 - C - 23 Feb 2016 - depth of 1st floor reduced by further 1.2m to align with adjoining existing house
 - B - 4 Aug 2015 - depth of building reduced by 0.675m

Copyright 2015

BRIAN SMITH R.I.B.A. Chartered Architect Suite 1, Barry House, 20-22 Worple Road, Wimbledon, London SW19 4DH Telephone: 020 8947 0088 Fax: 020 8947 6827	Client : Scale : 1:200@A3 Date : Feb 2015 Drawn :	Drawing title : SITE PLAN AS PROPOSED
	Job title : Site Adjoining 1 Bridge Villas, Ashcombe Road, London SW19	<div style="border: 2px solid black; padding: 5px; display: inline-block;"> 485 C 2 D </div>



SECOND FLOOR PLAN AS PROPOSED 1:100



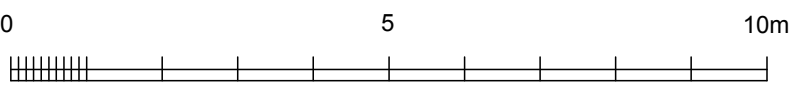
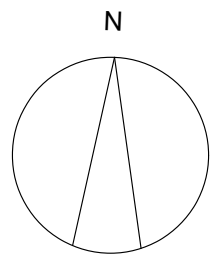
FIRST FLOOR PLAN AS PROPOSED 1:100

NOTE - All internal accommodation to be ventilated by forced mechanical ventilation system with heat recovery not requiring windows to be opened

- D - 26 Feb 2016 - roof and 2nd floor layout amended
- C - 23 Feb 2016 - depth of 1st floor reduced by further 1.2m to align with adjoining existing house
- Revisions : B - 4 Aug 2015 - depth of building reduced by 0.675m

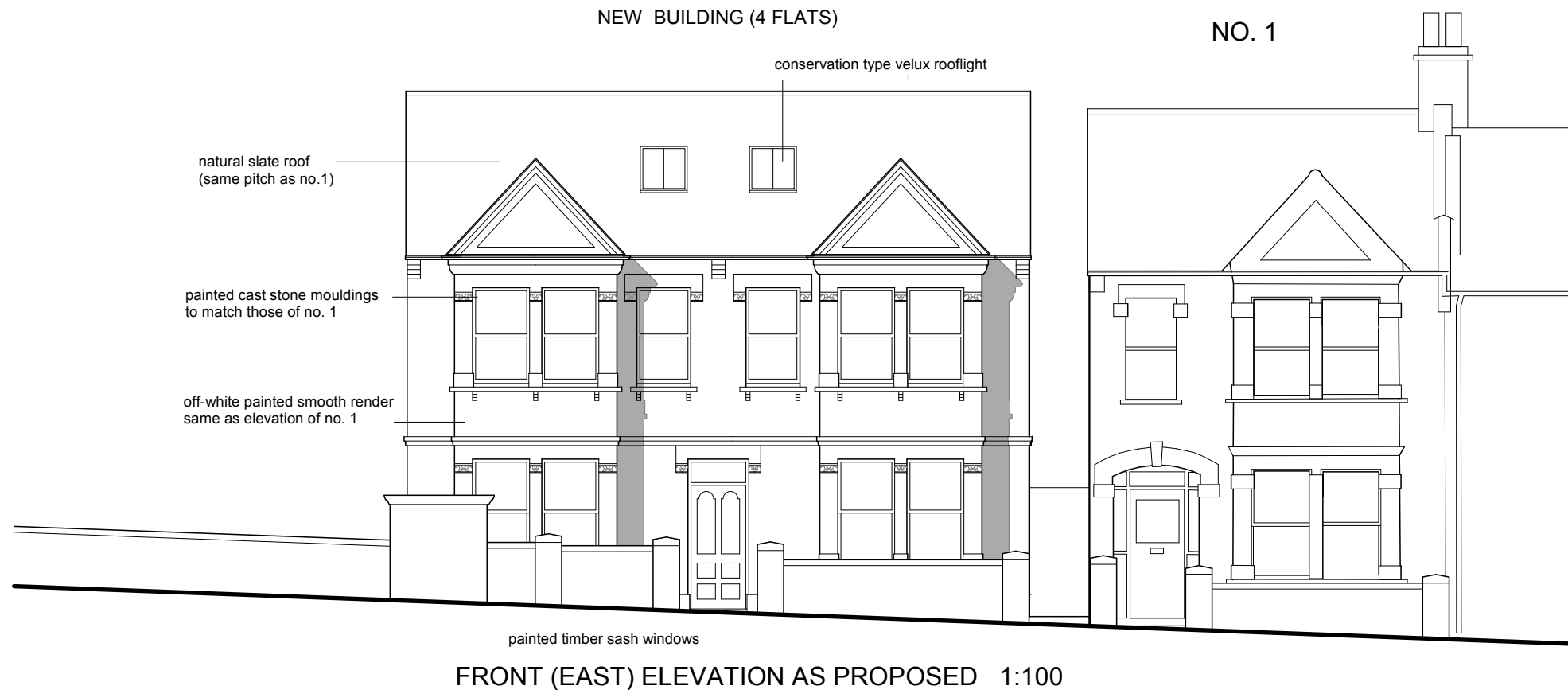
Copyright 2015

Page 30



Site data based on survey by J Brotherton + Partners Jan 2012

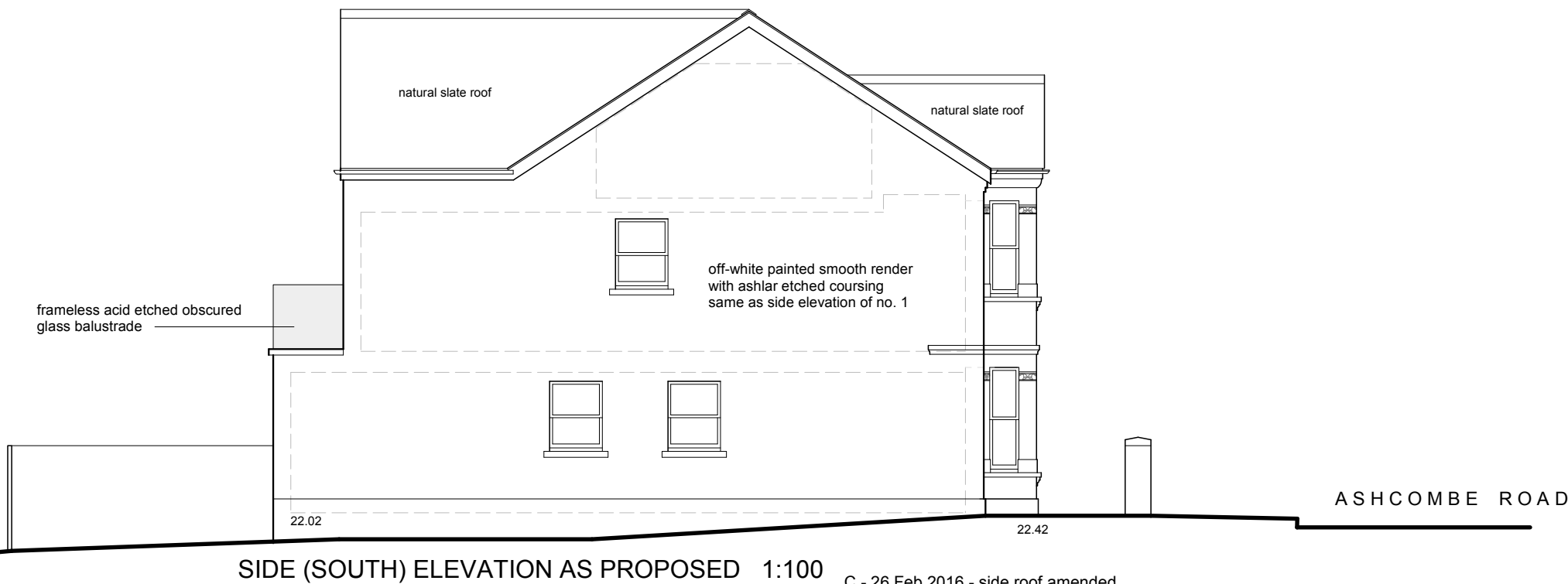
BRIAN SMITH R.I.B.A. Chartered Architect Suite 1, Barry House, 20-22 Worple Road, Wimbledon, London SW19 4DH Telephone: 020 8947 0088 Fax: 020 8947 6827	Client : Scale : 1:100@A3 Date : Feb 2015 Drawn :	Drawing title : 1st + 2nd FLOOR PLANS AS PROPOSED
	Job title : Site Adjoining 1 Bridge Villas, Ashcombe Road, London SW19	485 C 4 D



FRONT (EAST) ELEVATION AS PROPOSED 1:100

21m datum line

Page 31

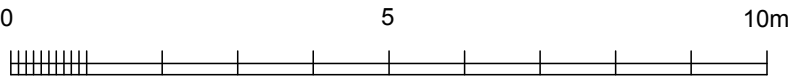


SIDE (SOUTH) ELEVATION AS PROPOSED 1:100

21m datum line

- C - 26 Feb 2016 - side roof amended
- B - 23 Feb 2016 - depth of 1st floor reduced by further 1.2m
- A - 4 Aug 2015 - depth of building reduced by 0.675m

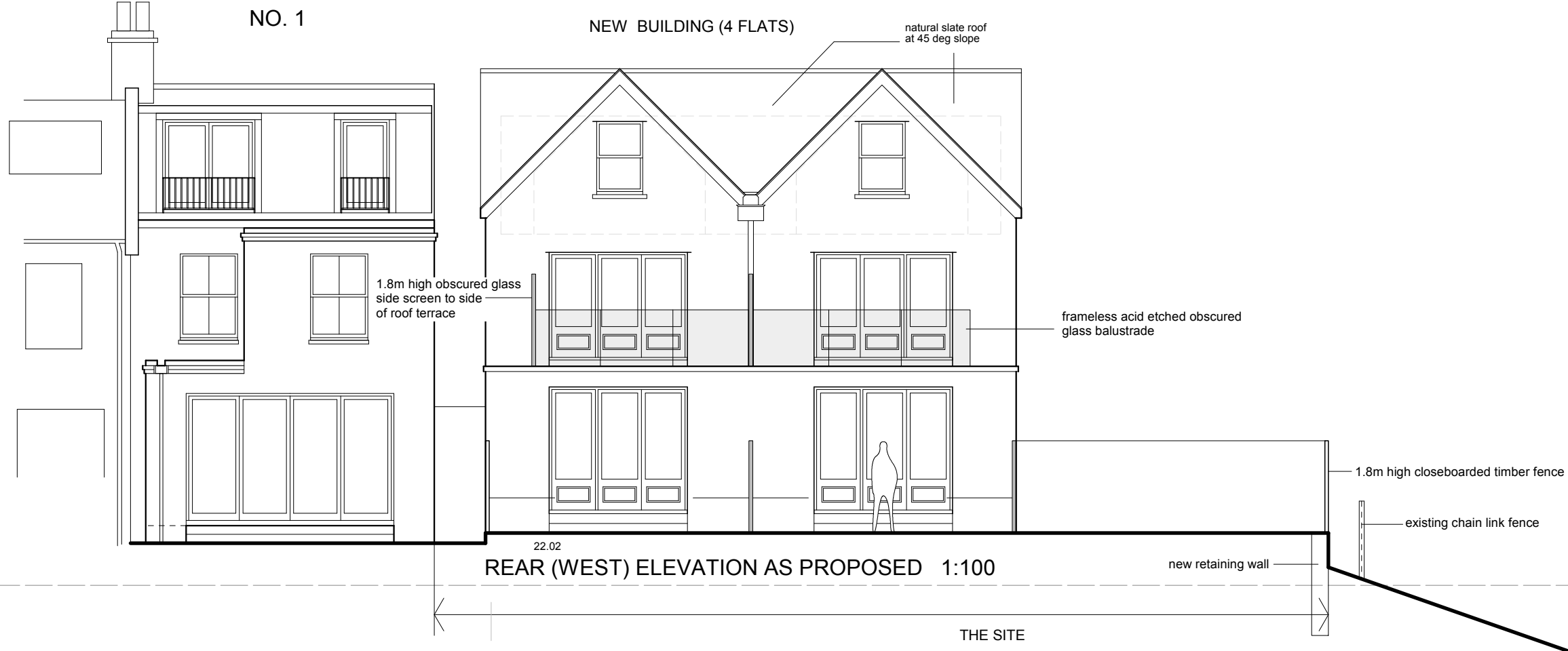
Copyright 2015



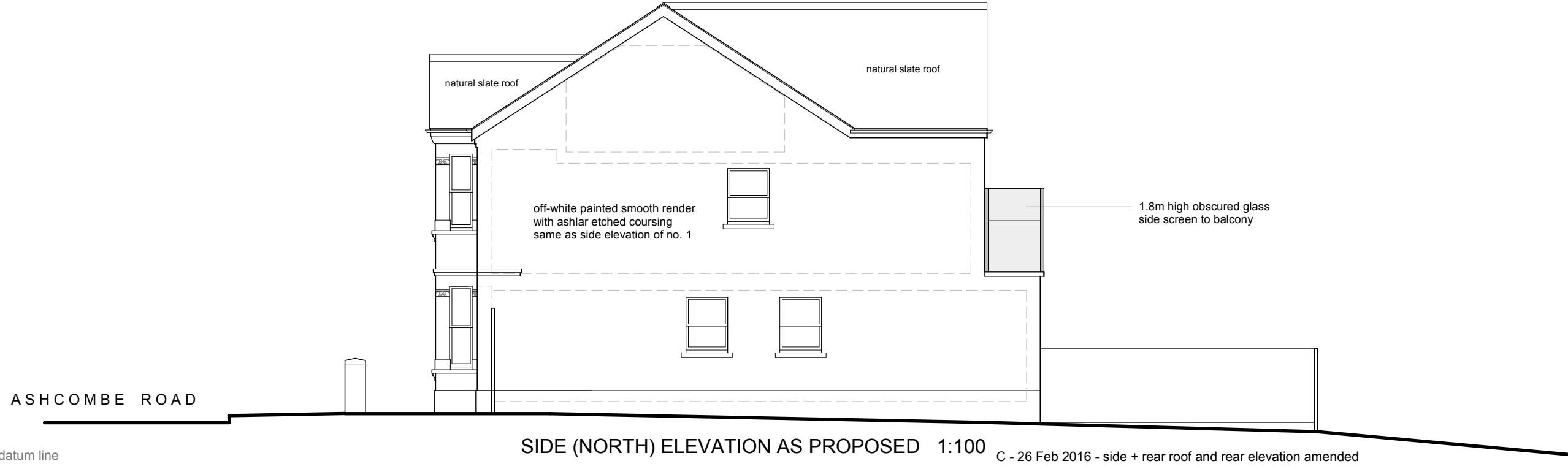
Site data based on survey by J Brotherton + Partners Jan 2012

BRIAN SMITH R.I.B.A. Chartered Architect Suite 1, Barry House, 20-22 Worple Road, Wimbledon, London SW19 4DH Telephone: 020 8947 0088 Fax: 020 8947 6827	Client :	Scale : 1:100@A3	Drawing title :
		Date : Feb 2015	EAST + SOUTH ELEVATIONS AS PROPOSED
	Job title :	Drawn :	
	Site Adjoining 1 Bridge Villas, Ashcombe Road, London SW19		<div style="border: 2px solid black; padding: 5px; display: inline-block;"> 485 C 5 B </div>

DO NOT SCALE FROM DRAWING
All dimensions approximate

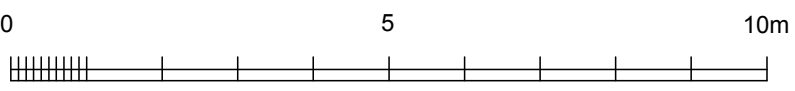


Page 32



Revisions : C - 26 Feb 2016 - side + rear roof and rear elevation amended
B - 23 Feb 2016 - depth of 1st floor reduced by further 1.2m
A - 4 Aug 2015 - depth of building reduced by 0.675m

Copyright 2015



Site data based on survey by J Brotherton + Partners Jan 2012

BRIAN SMITH R.I.B.A. Chartered Architect Suite 1, Barry House, 20-22 Worple Road, Wimbledon, London SW19 4DH Telephone: 020 8947 0088 Fax: 020 8947 6827	Client :	Scale : 1:100@A3 Date : Mar 2015 Drawn :	Drawing title : WEST + NORTH ELEVATIONS AS PROPOSED
	Job title : Site Adjoining 1 Bridge Villas, Ashcombe Road, London SW19	<div style="border: 2px solid black; padding: 5px; display: inline-block;"> 485 C 6 C </div>	

PLANNING APPLICATIONS COMMITTEE
21st April, 2016

Item No:

UPRN

APPLICATION NO.

DATE VALID

15/P4762

05/01/2016

Address/Site:

Land adjacent to 87 Denison Road, Colliers Wood

Ward:

Colliers Wood

Proposal:

Erection of a new residential building comprising 1 x 2 bed ground floor flat with garden and outbuilding (home office) and 1 x 1 bed flat on first floor and within loft

Drawing No.'s:

'Site Location Plan DEN-EX-1', 'DEN-PR-1 Proposed Elevations', 'DEN-PR-2 Proposed Elevations', 'DEN-PR-3 Proposed Ground Floor', 'DEN-PR-4 1st Floor & Illustration', 'DEN-PR-5 Illustration and Elevations' & 'DEN-PR-6 Proposed Side Elevation North'

Contact Officer:

Felicity Cox (020 8545 3119)

RECOMMENDATION

Grant planning permission subject to Section 106 Obligation & Conditions

CHECKLIST INFORMATION

- Is a screening opinion required: No
- Is an Environmental Statement required: No
- Has an Environmental Statement been submitted: No
- Press notice: No
- Site notice: Yes
- Design Review Panel consulted: No
- Number of neighbours consulted: 30
- External consultations: 0
- Controlled Parking Zone: Yes

1. INTRODUCTION

- 1.1 This application is being brought to the Planning Applications Committee due to the level of public interest in the proposal.

2. SITE AND SURROUNDINGS

- 2.1 The application site is located between the access passage at the rear gardens to dwellings 13 to 35 Briscoe Road, and the side boundary of 87 Denison Road. The site has a 6.4m wide frontage to Denison Road.
- 2.2 The site was previously used for the storage of vehicles, and is entirely hardstanding. A large 2 metre wooden double gate forms the entrance to the site from Denison Road, with 2 metre high brick walls to the side and rear boundaries. The boundary walls are topped with metal security fencing another 1.5-2 metres above this.
- 2.3 The application site is not in a conservation area. The site is located in a controlled parking zone and has a PTAL Rating of 5 (very good).
- 2.4 The eastern side of Denison Road in which the site is located is largely characterised by the flank walls of dwellings fronting Briscoe Road and Walpole Road, which are constructed to the footway. The adjoining semi-detached dwellings at 85 & 87 Denison Road are the only dwellings on the eastern side of Denison Road oriented to this street frontage. The opposite side of Denison Road is characterised by a row of traditional terrace housing of uniform design.

3. CURRENT PROPOSAL

- 3.1 The current proposal is to erect a new residential building comprising 1 x 2 bed ground floor flat with garden and outbuilding (home office) and 1 x 1 bed flat on first floor and within the loft.
- 3.2 The flats have been designed as a two-storey, detached residential building with two storey bay windows to the front elevation and a gable roof. The dwelling will be constructed from bricks to match the existing terrace housing in the street ('Traditional London Reds' or similar) and Marley Eternit fibre cement (slate like) roof tiles or similar.
- 3.3 The ground floor flat would consist of 2 bedrooms with 3 bed spaces, and would have a Gross Internal Floor Area of 74 square metres. Access to the flat will be from the main front door fronting Denison Road. The flat would have direct access via the living room to the private amenity space at the rear of the property; of which 98 square metres of garden space has been allocated to the flat. A single storey outbuilding with a floor area of 15m² is proposed in the rear of the garden to be used for the purpose of cycle and general storage and as a home office.
- 3.4 The upper storey flat will be located within the first floor and loft of the residential building. The flat will consist of a living/dining/kitchen and WC on the first floor and 1 double bedroom within the loft with dormer to the rear elevation. The flat will have a Gross Internal Floor Area of 63 square metres.
- 3.5 The upper storey flat will have direct access from the street via a side door adjacent to the side boundary with 87 Denison Road. Secure cycle storage is proposed next to the entrance.

3.6 The existing boundary walls are proposed to be retained with 2 metre close board timber doors proposed to provide access to the garden of Flat 1 and the access to Flat 2. A low front wall matching the style and height of the properties on the opposite side of Denison Road is proposed, with metal low black painted gates providing access.

4. PLANNING HISTORY

4.1 The site has no relevant planning history.

5. CONSULTATION

5.1 30 neighbouring properties were consulted by letters and a site notice was displayed.

5.2 Seven objections were received from fourteen local residents raising concerns relating to:

- Site too small for a property of this size
- Overlooking of existing properties in Briscoe Road & Walpole Road
- Reduction in light due to height of building
- Addition of outbuilding unnecessary and could have second storey added in future
- Increased parking pressure from development
- Removal of gate from end of path and replacement with low boundary wall will increase anti-social behaviour currently associated with the pedestrian access path
- Potential use of home office as a business due to separate access from pedestrian path, leading to noise and disruption to residents
- Height and bulk of building significant and would overshadow adjacent gardens and front rooms of dwellings on opposite side of Denison Road
- Overhang of roof onto communal path
- Further details of materials requested
- Pulling down of existing security fence supported, but requested this be reduced to 1.8m rather than 2m
- Request that sunlight/overshadowing studies be provided
- Loss of outlook from height of building

6. POLICY CONTEXT

6.1 NPPF - National Planning Policy Framework (2012):
Part 6 Delivering a wide choice of high quality homes.
Part 7 Requiring Good Design.

6.2 London Plan Consolidated (2015).
3.3 Increasing housing supply;
3.4 Optimising housing potential;
3.5 Quality and design of housing developments.
5.3 Sustainable design and construction.
6.9 Cycling
7.4 Local character

7.6 Architecture
London Housing Supplementary Planning Guidance 2012

6.3 Merton Sites and Policies Plan (July 2014).
DM D2 Design considerations in all developments.
DM T3 Parking.

6.4 Merton Core Strategy (2011).
CS 8 Housing choice;
CS 9 Housing provision;
CS 14 Design;
CS 15 Climate change;
CS 18 Active transport;
CS 20 Parking, servicing and delivery.

7. PLANNING CONSIDERATIONS

7.1 The main planning considerations include assessing the principle of development, the need for additional housing and housing mix, design and appearance of the proposed building, the standard of the residential accommodation, the impact on residential amenity and impact on car parking and traffic generation.

Principle of Development

7.2 Core Planning Strategy Policy CS9 encourages the development of additional dwellings within residential areas in order to meet the London Plan target of 42,389 additional homes per year from 2015-2036 (Merton - 411 per year). The National Planning Policy Framework 2012 and London Plan policies 3.3 & 3.5 promote sustainable development that encourages the development of additional dwellings locations with good public transport accessibility.

7.3 The site has a PTAL rating of 5 (1 being the lowest and 6 being the highest) which is considered to be very good and is surrounded by residential development. The site has previously been used for the storage of vehicles (no record of planning permission) and is currently considered to be underutilised.

7.4 The current proposal would help provide a mix of dwelling types within the local area and would make a modest contribution to housing targets in an area of good public transport accessibility. The principle of the redevelopment of the site for residential purposes is therefore considered acceptable.

Character and Appearance

7.5 London Plan policies 7.4 and 7.6, Core Strategy policy CS14 and SPP Policies DMD2 and DMD3 require well designed proposals that will respect the appearance, materials, scale, bulk, proportions and character of the original building and their surroundings.

- 7.6 The proposed building has adopted a traditional design approach, reflecting the design, proportion and character of the terrace housing on the opposite side of Denison Road through the inclusion of a two storey bay window, gable roof, sash windows and use of matching materials. The rear of the building will feature a dormer window and two storey wing similar to the immediately surrounding terrace housing which have two storey original outriggers, in addition to many rear roof dormer extensions. The proposed detached dwelling has the appearance of one of the single terrace houses from the opposite row, and the design and massing of the dwelling is considered by officers to complement the character of the streetscene and surrounding area.
- 7.7 It is noted that ridge and eave heights of dwellings on the eastern side of Denison Road vary within the street. The proposed height of the building in terms of ridge and eaves height is approximately 400mm higher than the adjoining dwellings, however this variation in building height is not considered to result in a dwelling that is out of context with the height of dwellings in the street or results in a dwelling that is overbearing on the streetscene.
- 7.8 The building will be provided with a modest front garden terrace similar to surrounding traditional terrace housing, resulting in a front setback that complements the building line of Denison Road.
- 7.9 It is considered that the proposal will not harm the character and appearance of the area in accordance with the above policies, and is considered to be an improvement to the streetscene from the existing high blockwork walls and security fencing.

Neighbouring Amenity

- 7.10 SPP policy DMD2 states that proposals must be designed to ensure that they would not have an undue negative impact upon the amenity of neighbouring properties in terms of loss of light, quality of living conditions, privacy, visual intrusion or noise.
- 7.11 Windows to the new flats have primarily been oriented to the front and rear elevations where there is sufficient separation distances from windows of adjacent properties by virtue of the carriageway and deep rear garden to ensure no loss of privacy will result. No windows are proposed to the northern flank elevation, hence overlooking into the rear gardens of dwellings fronting Briscoe Road is not anticipated. A single side facing window is proposed on the second storey of the southern flank elevation. As this window is to a WC, the window can be conditioned to be obscured glazed to protect the privacy of 87 Denison Road.
- 7.12 The dwelling will be located at the end of the rear gardens and shared access path of the properties fronting Briscoe Road. Given the separation from the rear walls of these properties and the height, proportions and relatively modest depth of the building which is commensurate with surrounding terrace housing, the proposal is not considered to significantly impede outlook or be visually intrusive on these dwellings. At the rear of the dwelling, the 'outrigger' has been stepped down in height to further minimise any perceived visual intrusion.

- 7.13 Where the dwelling extends past the rear wall of 87 Dennison Road, the building has been offset from the side boundary so to not be visually intrusive on the residents of this dwelling.
- 7.14 Overshadowing studies have been provided by the applicant following consultation. Whilst the shading studies show that there will be some overshadowing from the new residential dwelling, the proposal plans have demonstrated that the windows of the nearest habitable rooms will continue to receive levels of natural light that meet the adopted BRE guidance.
- 7.15 The single storey outbuilding will be located at the rear of the site, adjacent to outbuildings on the adjoining properties. The building is comparable in size to the adjoining outbuildings and as the use is for a home office/storage associated with the flat, is not considered to compromise the amenities of neighbours. Although objections have been raised about the potential use of the outbuilding as a separate business use, any such change of use would remain subject to planning control.
- 7.16 Objections have been raised in relation to the removal of the security gate to the shared access path. The applicant has confirmed they would be agreeable to the provision of a new secure replacement gate to address these concerns. A condition is therefore recommended for the implementation of a new security gate to the existing passage, near the front corner of the proposed building to provide maximum security and lowest impact.

Standard of residential accommodation

- 7.17 Policy DM D2 and DM D3 of the Site and Policies Plan states that all proposals for residential development should safeguard the residential amenities of future occupiers in terms of providing adequate internal space, a safe layout and access for all users; and provision of adequate amenity space to serve the needs of occupants. Policies CS 8, CS9 and CS14 within the Council's Adopted Core Strategy [2011] states that the Council will require proposals for new homes to be well designed.
- 7.18 Policy 3.5 of the London Plan 2015 states that housing developments should be of the highest quality internally and externally and should ensure that new development reflects the minimum internal space standards (specified as Gross Internal Areas) as set out in Table 3.3 of the London Plan (Amended March 2016).
- 7.15 The proposed two bedroom, three person ground floor flat will have a gross internal floor area of 74 square metres. This exceeds the London Plan minimum requirement of 61 square metres. The upper storey 1 bedroom, 2 person flat will have a gross internal floor area of 63 square metres, which will also exceed the London Plan minimum requirements of 58 square metres.
- 7.16 The proposed floor areas for all double bedrooms exceeds the London Plan requirement of 12 square metres, and the proposed single room within the ground floor flat also exceeds the London Plan requirement of 8 square metres. The living/kitchen/dining areas of each unit also exceed the London

Plan requirements of 25 square metres for a 3 person flat, and 23 square metres for a 2 person flat. It is considered that all rooms will have reasonable outlook and access to daylight.

- 7.17 SPP policy DMD2 and London Plan Housing Standards requires that for all new flats, the Council will seek a minimum of 5 square metres of private outdoor space for 1-2 person flatted dwellings and an extra 1 square metre for each additional occupant. The ground floor flat will be provided with safe and convenient access to a private garden amenity space of 93 square metres.
- 7.18 Whilst a modest amount of amenity space would normally be required for all flats, the upper storey flat is not a family sized unit. A generous living area has been provided, and it is considered that the absence of outdoor private amenity space would not be the basis to withhold permission in this instance.
- 7.19 It is considered that the proposed flats would provide a satisfactory standard of accommodation in accordance with the above policy requirements.

Transport and parking

- 7.20 Core Strategy policy CS20 requires that development would not adversely affect pedestrian or cycle movements, safety, the convenience of local residents, on street parking or traffic management.
- 7.21 Sites and Policies Policy DM T3 states that development should only provide the level of car parking required to serve the site taking into account its accessibility by public transport (PTAL) and local circumstances in accordance with London Plan standards unless a clear need can be demonstrated. The site is PTAL 5 and is within a parking control zone.
- 7.22 No off-street parking is proposed. Given the good PTAL rating of the site, and as the site is within a controlled parking zone, the grant of planning permission may reasonably be subject to a Section 106 agreement to the effect that the occupiers of the new units would not be eligible for parking permits. This is to ensure that no additional parking stress results from the proposed development.

Refuse storage and collection

- 7.23 Policy CS20 of the Core Strategy [July 2011] states that the Council will seek to implement effective traffic management by requiring developers to incorporate adequate facilities for servicing to ensure loading and unloading activities do not have an adverse impact on the public highway.
- 7.24 The submitted plans show the provision of refuse stores within the front garden area of the building, similar to surrounding residential development in the street. This is considered to be unobtrusive and will facilitate safe refuse collection from the street in accordance with policy.

Cycle storage

- 7.25 Core Strategy Policy CS 18 and London Plan policy 6.9 call for proposals that will provide for cycle parking and storage. A new 1 bedroom flat would be

required to provide 1 bicycle space, and a new two bedroom flat would be expected to provide a store for at least 2 bicycles.

- 7.26 The proposed plans show each flat will be provided with a secure and accessible cycle store. The ground level flat will be provided with sufficient storage within the rear outbuilding for 2 bicycles, whilst the upper storey flat will have a secure cycle lock area for 1 bicycle adjacent to the entrance. The proposal is considered to be consistent with policy.

Developer Contributions and affordable housing.

- 7.27 Policy CS.8 of the Merton LDF Core planning Strategy (2011) considers the Council's requirements for schemes of less than 10 units to contribute to the provision of affordable housing within the borough.
- 7.28 Based on open market values and using the Council's calculator it is estimated that the scheme could deliver an off-site affordable housing contribution of £66,141. The applicant has confirmed that they are willing to provide this contribution.

8. CONCLUSION

- 8.1 The proposed new residential building to provide two new flats would see the redevelopment of a currently underutilised site that has good public transport accessibility and is commensurate with the residential character of the surrounding area. The building has been designed to complement the design, bulk, massing and proportions of housing within Denison Road. The design of the flats meets minimum standards required for Gross Internal Area and kitchen/living room sizes, and is considered to provide an acceptable standard of accommodation for future occupiers. The conversion is not considered to result in adverse amenity impacts on neighbours, and is therefore recommended for approval.

RECOMMENDATION

Grant permission subject to the completion of a Section 106 Agreement covering the following heads of term;

1. Financial contribution towards the provision of affordable housing in the borough (£66,141).
2. Both two flats are to be permit free residential units
3. The developer agreeing to meet the Council's costs of preparing [including legal fees] the Section 106 Obligations [to be agreed].
4. The developer agreeing to meet the Council's costs of monitoring the Section 106 Obligations [to be agreed].

And subject to conditions.

Conditions

- 1) A1 Commencement of works

2) A7 Built according to plans; 'Site Location Plan DEN-EX-1', 'DEN-PR-1 Proposed Elevations', 'DEN-PR-2 Proposed Elevations', 'DEN-PR-3 Proposed Ground Floor', 'DEN-PR-4 1st Floor & Illustration', 'DEN-PR-5 Illustration and Elevations' & 'DEN-PR-6 Proposed Side Elevation North'.

3) B3 External materials to be approved

4) Details of Walls/Fences

5) C04 Obscured Glazing (Opening Windows)

Before the development hereby permitted is first occupied, the windows in the first floor, southern elevation shall be glazed with obscured glass and shall be maintained as such thereafter.

6) C07 Refuse & Recycling (Implementation)

7) E06 Ancillary Residential

The outbuilding hereby permitted shall not be occupied at any time other than for purposes ancillary to the residential use of the ground floor flat.

8) H03 Redundant Crossovers

9) H07 Cycle parking to be implemented

10)H09 Construction Vehicles

11) L2 Code for Sustainable Homes

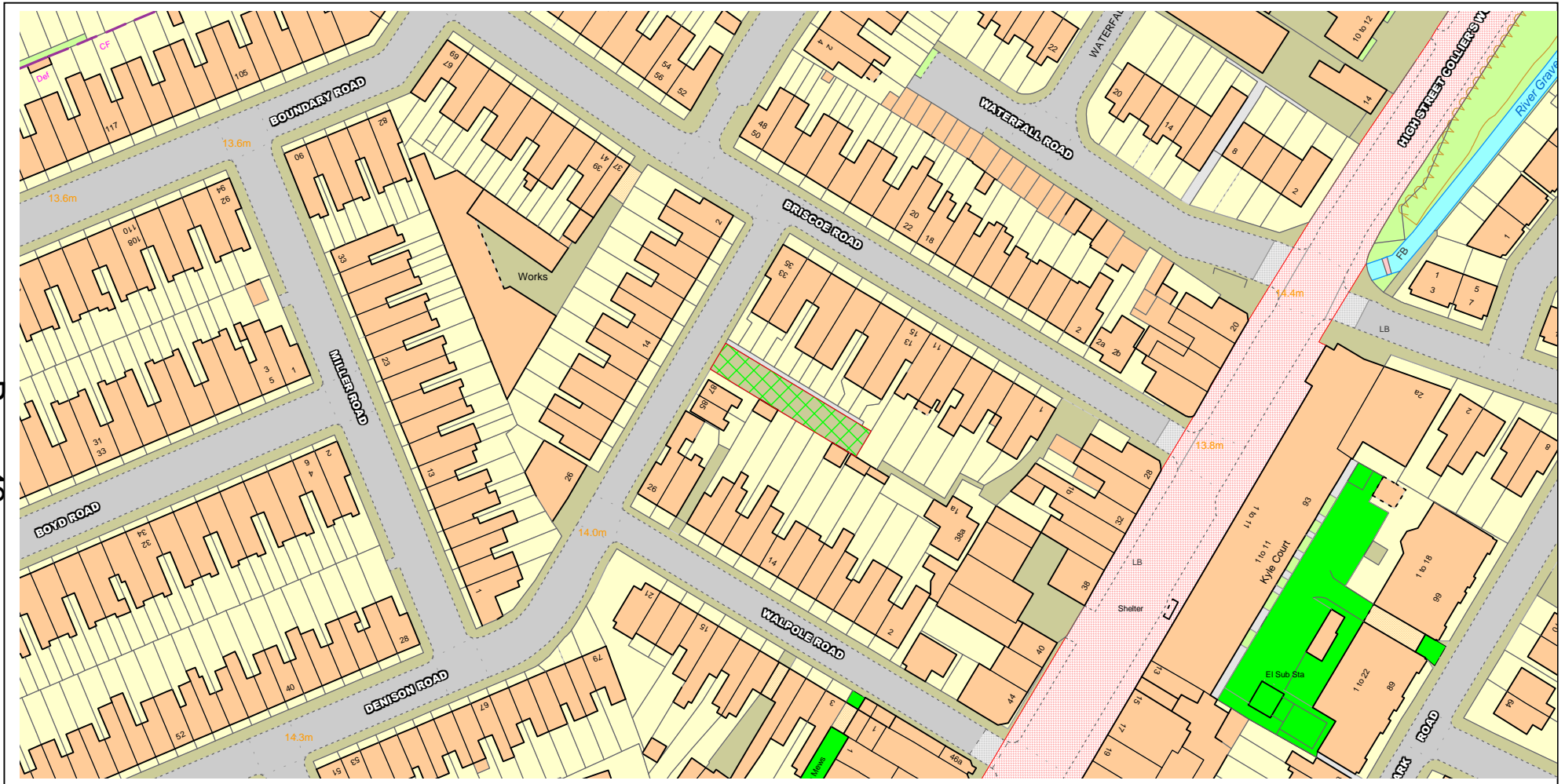
12) Non-Standard Condition

No development shall take place until details of the new secure gate to the shared side pedestrian passage are submitted in writing for approval to the Local Planning Authority. No works which are the subject of this condition shall be carried out until the details are approved, and the development shall not be occupied / the use of the development hereby approved shall not commence until the details are approved and works to which this condition relates have been carried out in accordance with the approved details. The secure gate shall be permanently retained thereafter.

Reason: To ensure a satisfactory and safe development in accordance with the following Development Plan policies for Merton: policies 7.5 and 7.6 of the London Plan 2015, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D1 of Merton's Sites and Policies Plan 2014.

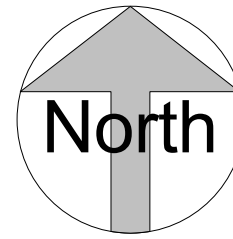
13)NPPF Informative

NORTHGATE SE GIS Print Template



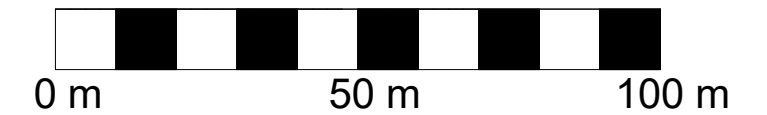
Text Details **Land Adj 87 Denison Road**

These drawings are for use in the planning process only. All measurements should be checked on site. These plans should not be used for structural calculations or any other engineering purpose.



All rights reserved. Licence nur

1 Site
1 : 1250



Peter Pendleton & Associates
97 Lower Marsh
London SE1 7AB

www.pendleton-assoc.com

REVISION:

Land adjacent to 87 Denison Road,
SW19 2DJ

Site location plan

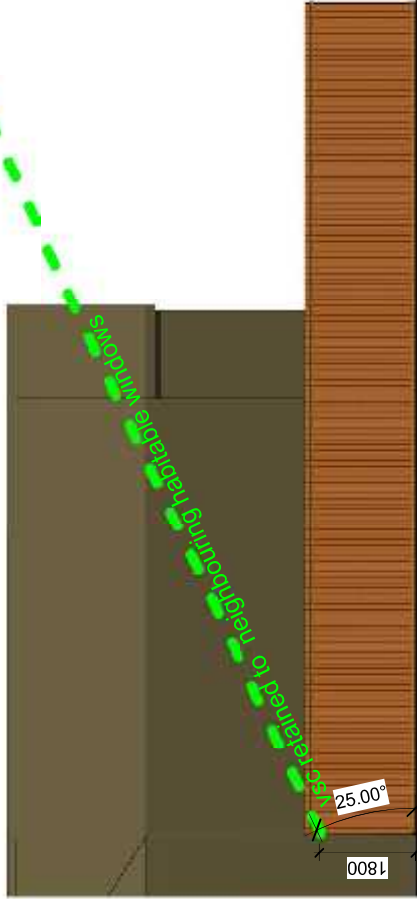
Project number	DEN
Date	09-11-2015
Drawn by	JH
Checked by	JP

DEN-EX-1

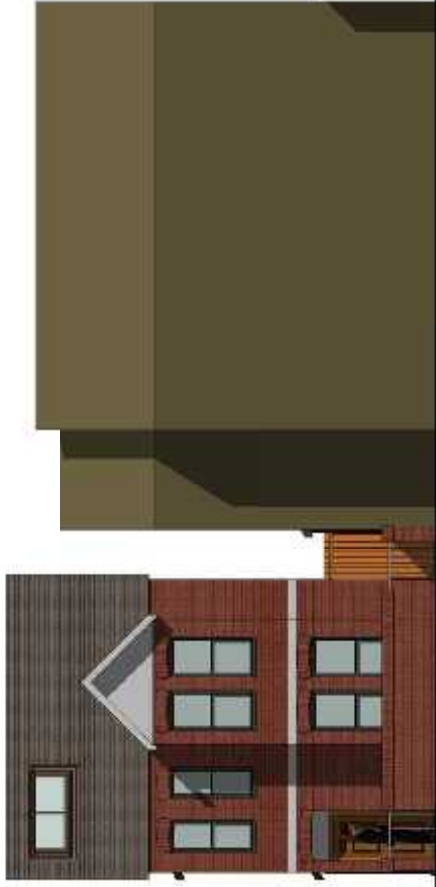
Scale@A3 1 : 1250

Front elevation

1 1 : 100

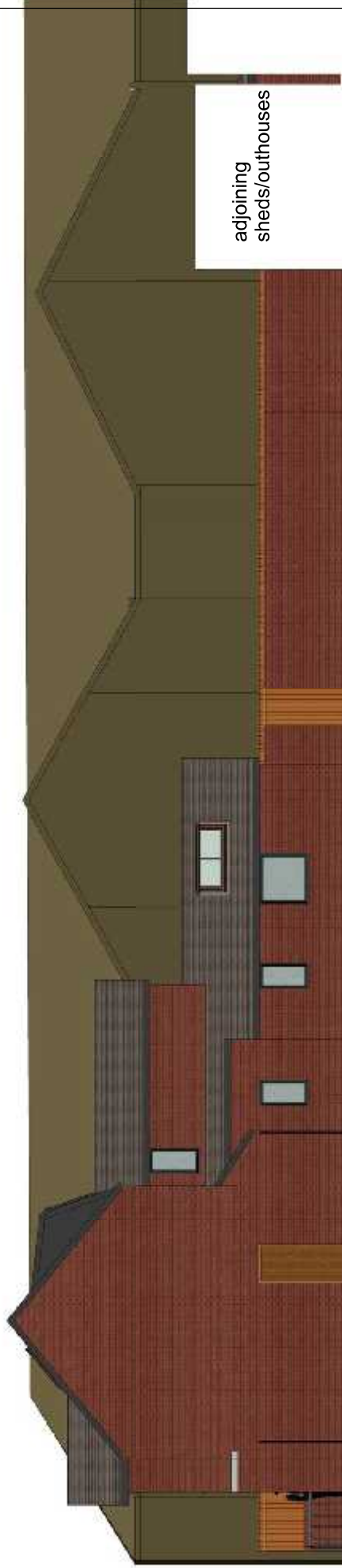


These drawings are for use in the planning process only. All measurements should be checked on site. These plans should not be used for structural calculations or any other engineering purpose.



Side elevation

2 1 : 100



Peter Pendleton & Associates
97 Lower Marsh
London SE1 7AB

www.pendleton-assoc.com

REVISION:

Land adjacent to 87 Denison Road,
SW19 2DJ

Proposed elevations

Project number	DEN
Date	09-11-2015
Drawn by	JH
Checked by	JP
Scale@A3	
DEN-PR-1	
1 : 100	

1 Rear garden home office

1 : 100



3 3D View 8

3



adjoining property



2 Rear house

1 : 100



Peter Pendleton & Associates
97 Lower Marsh
London SE1 7AB

www.pendleton-assoc.com

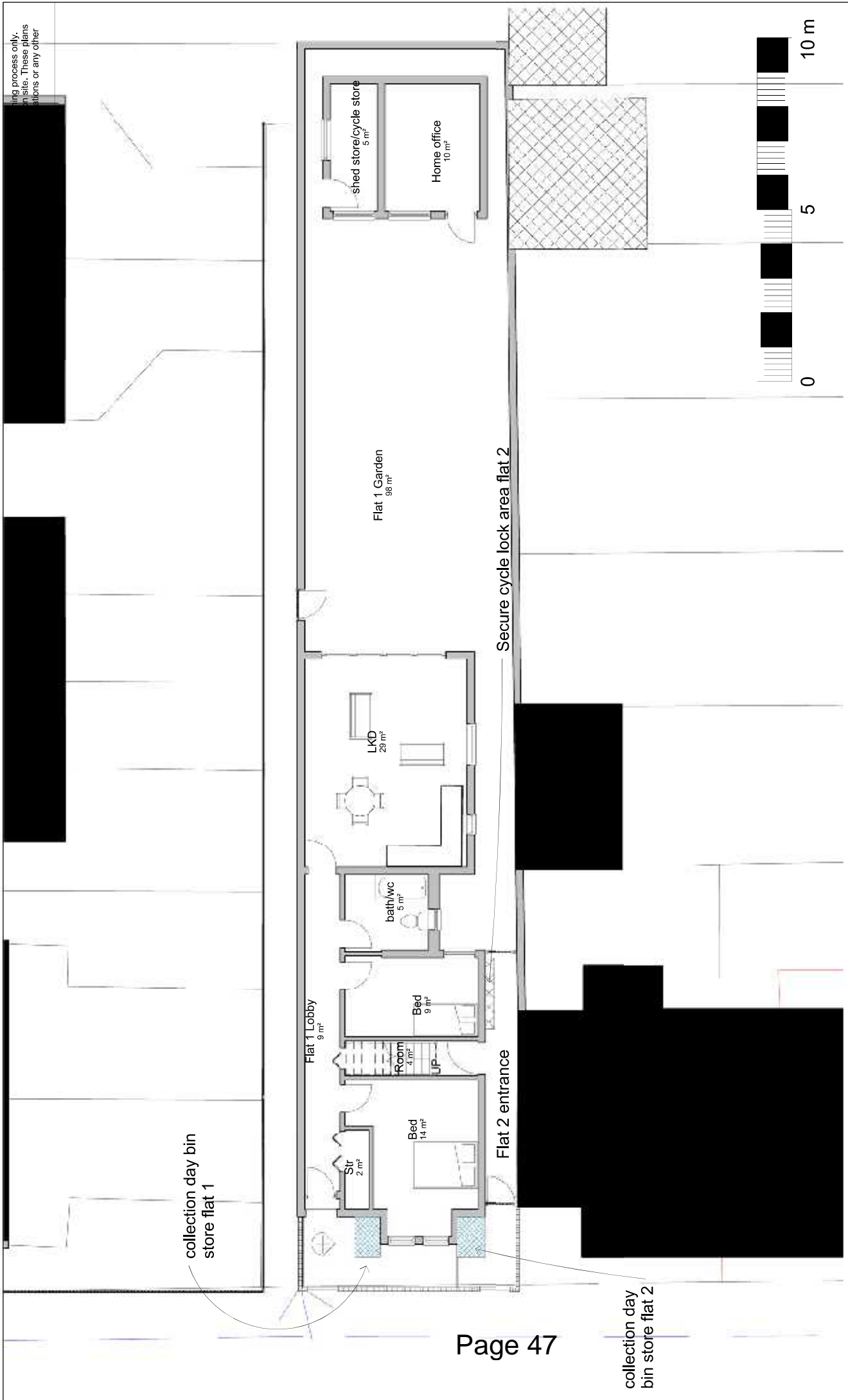
REVISION:

Land adjacent to 87 Denison Road,
SW19 2DJ

Proposed Elevations

Project number	DEN	DEN-PR-2
Date	09-11-2015	
Drawn by	JH	
Checked by	JP	
		Scale@A3
		1 : 100

These drawings are for use in the planning process only. All measurements should be checked on site. These plans should not be used for structural calculations or any other engineering purpose.



...ing process only.
...n safe. These plans
...ations or any other

collection day bin
store flat 1

Flat 2 entrance

collection day
bin store flat 2

Flat 1 Garden
98 m²

Flat 1 Lobby
9 m²

LKD
29 m²

bath/wc
5 m²

Bed
9 m²

Room
4 m²

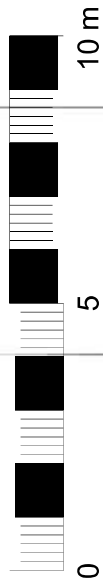
Str
2 m²

Bed
14 m²

shed store/cycle store
5 m²

Home office
10 m²

Secure cycle lock area flat 2



REVISION:

Peter Pendleton & Associates
 97 Lower Marsh
 London SE1 7AB
www.pendleton-assoc.com



Proposed ground floor (Flat1)

Project number	DEN	DEN-PR-3
Date	09-11-2015	
Drawn by	JH	
Checked by	JP	
		Scale@A3
		1 : 100

Land adjacent to 87 Denison Road,
 SW19 2DJ

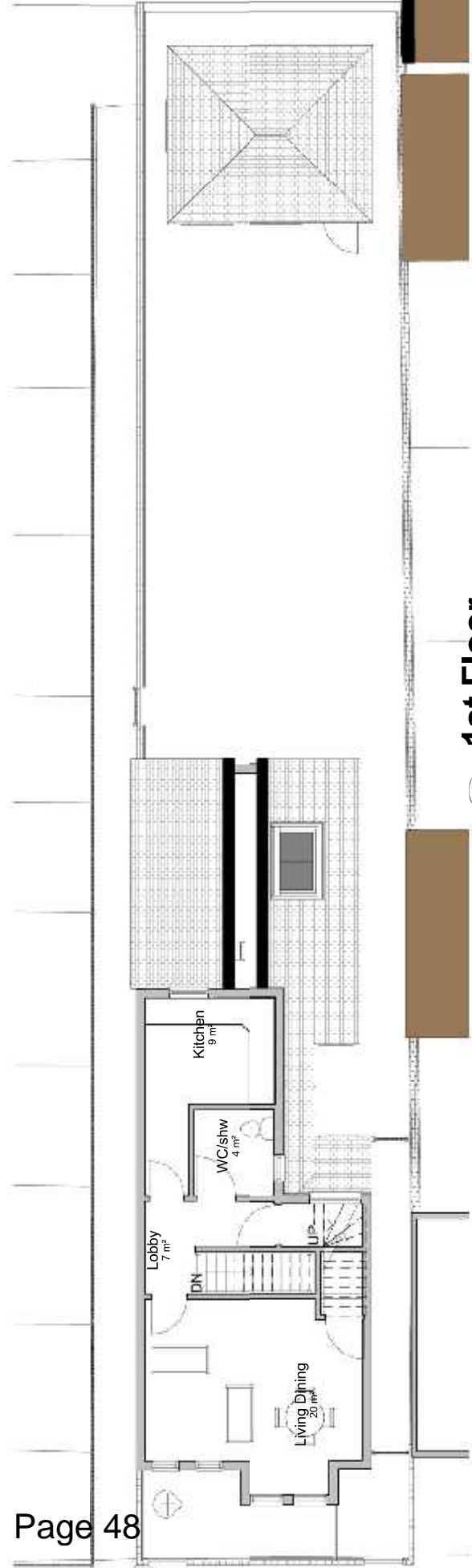
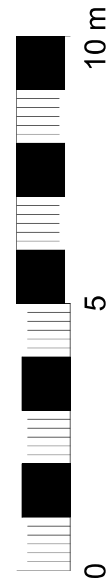
These drawings are for use in the planning process only. All measurements should be checked on site. These plans should not be used for structural calculations or any other engineering purpose.

3D View 5



3 2nd Floor

1 : 100



2 1st Floor

1 : 100



Peter Pendleton & Associates
97 Lower Marsh
London SE1 7AB

www.pendleton-assoc.com

REVISION:

1st floor and illustration

Project number	DEN
Date	09-11-2015
Drawn by	JH
Checked by	JP
Scale	1 : 100

DEN-PR-4

Land adjacent to 87 Denison Road,
SW19 2DJ

These drawings are for use in the planning process only. All measurements should be checked on site. These plans should not be used for structural calculations or any other engineering purpose.



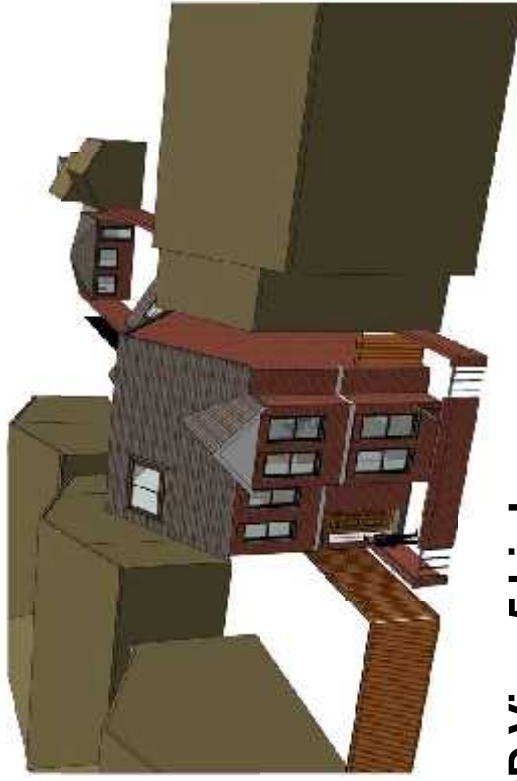
Front elevation traditional

2

1 : 100



Proposed brick to match existing properties



3D View 5 birdseye

1

REVISION:

Land adjacent to 87 Denison Road,
SW19 2DJ

Illustration and elevations

Project number

DEN

Date

09-11-2015

Drawn by

JH

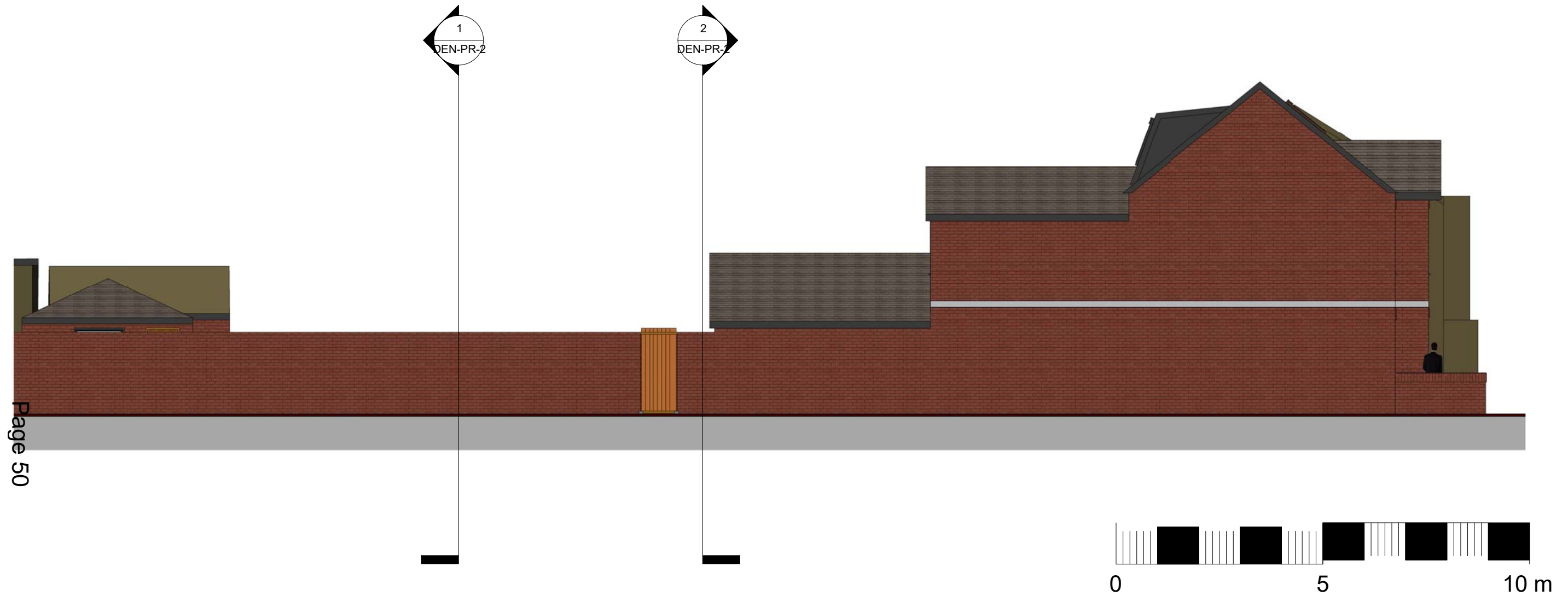
Checked by

JP

DEN-PR-5

Scale@A3

1 : 100



Page 50

1 Side elevation (North)
1 : 100



Peter Pendleton & Associates
97 Lower Marsh
London SE1 7AB

www.pendleton-assoc.com

REVISION:

Land adjacent to 87 Denison Road,
SW19 2DJ

Proposed Side Elevation North

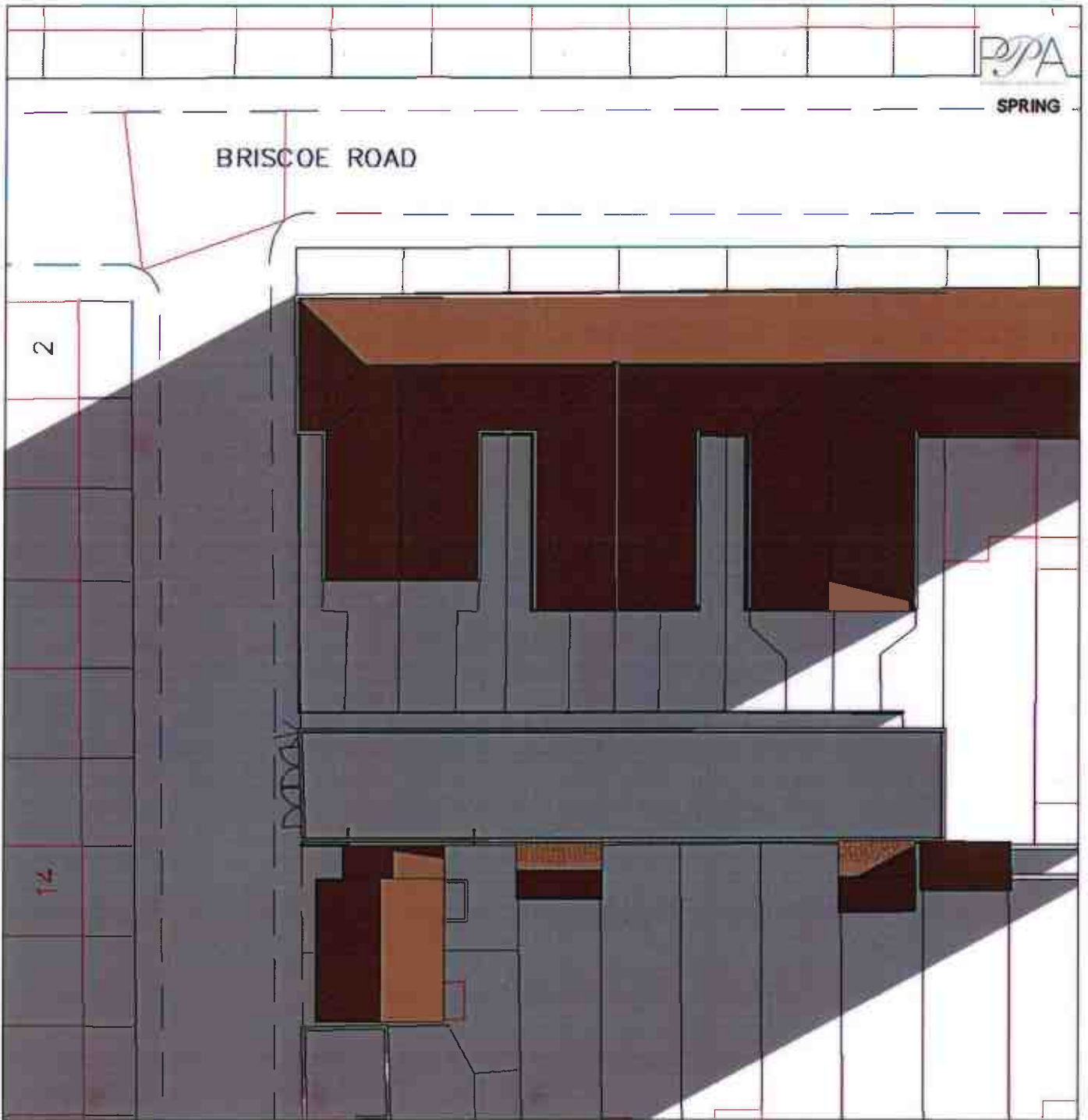
Project number	DEN
Date	11-12-2015
Drawn by	JH
Checked by	JP

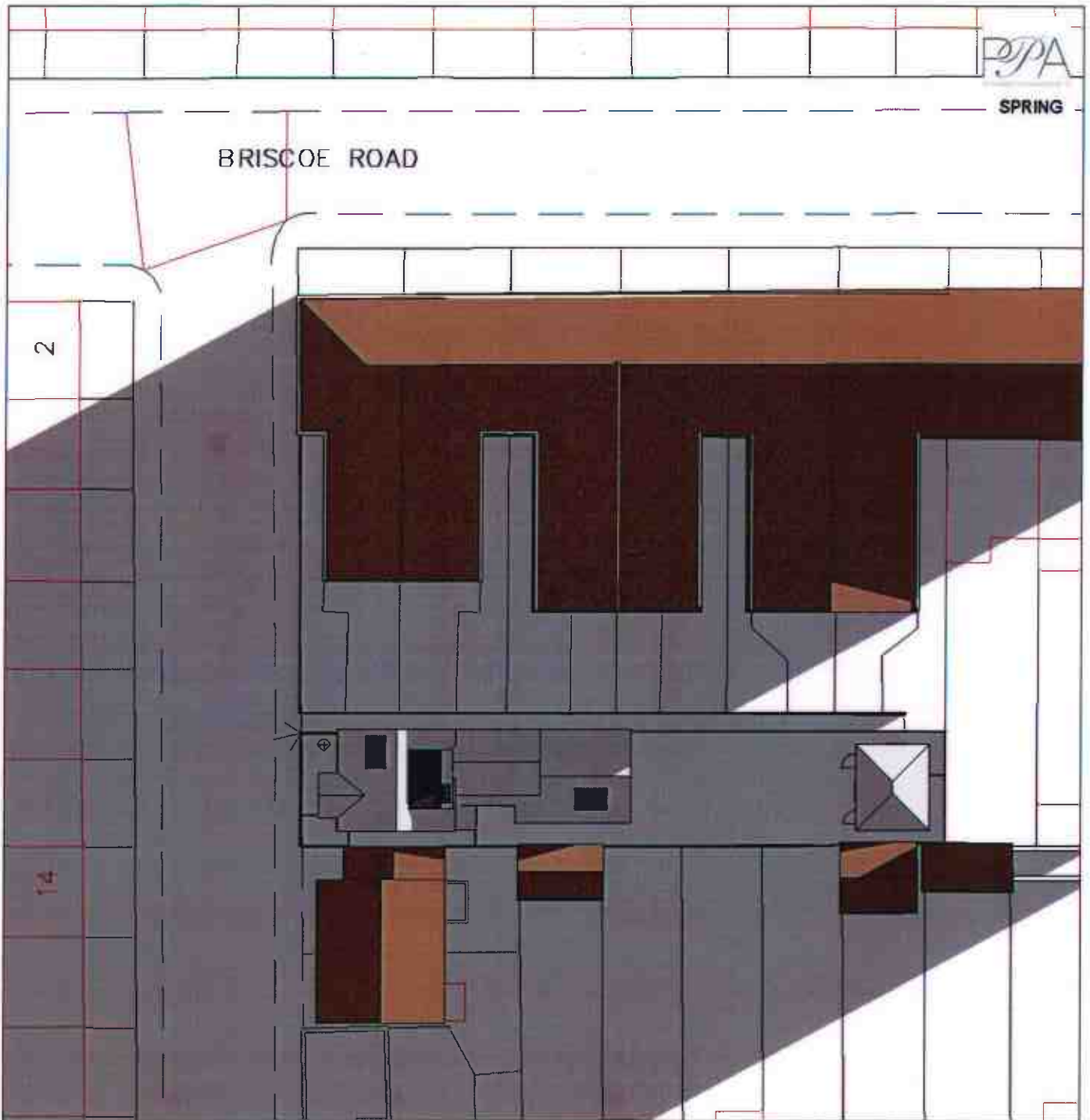
DEN-PR-6

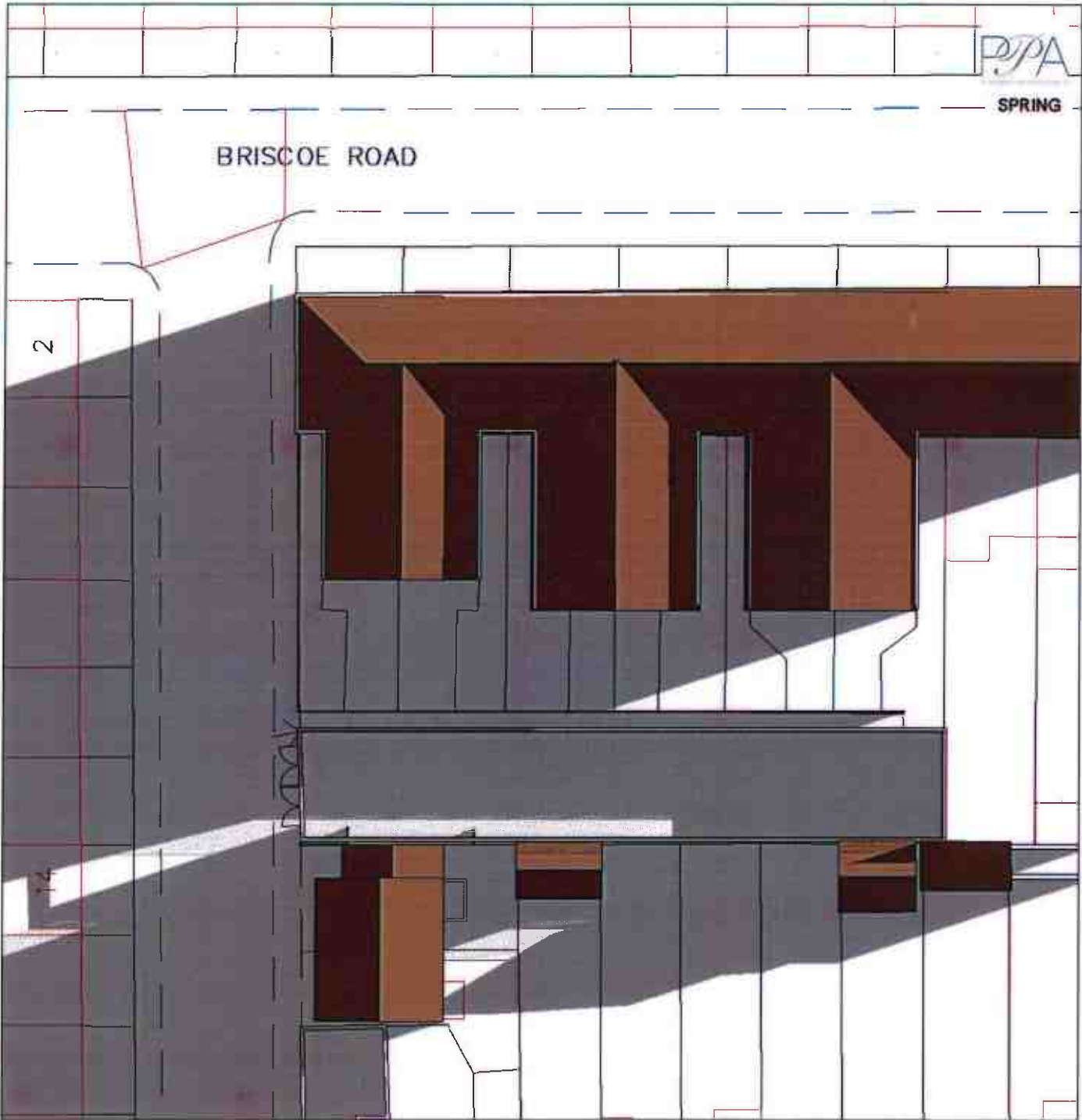
Scale@A3 1 : 100

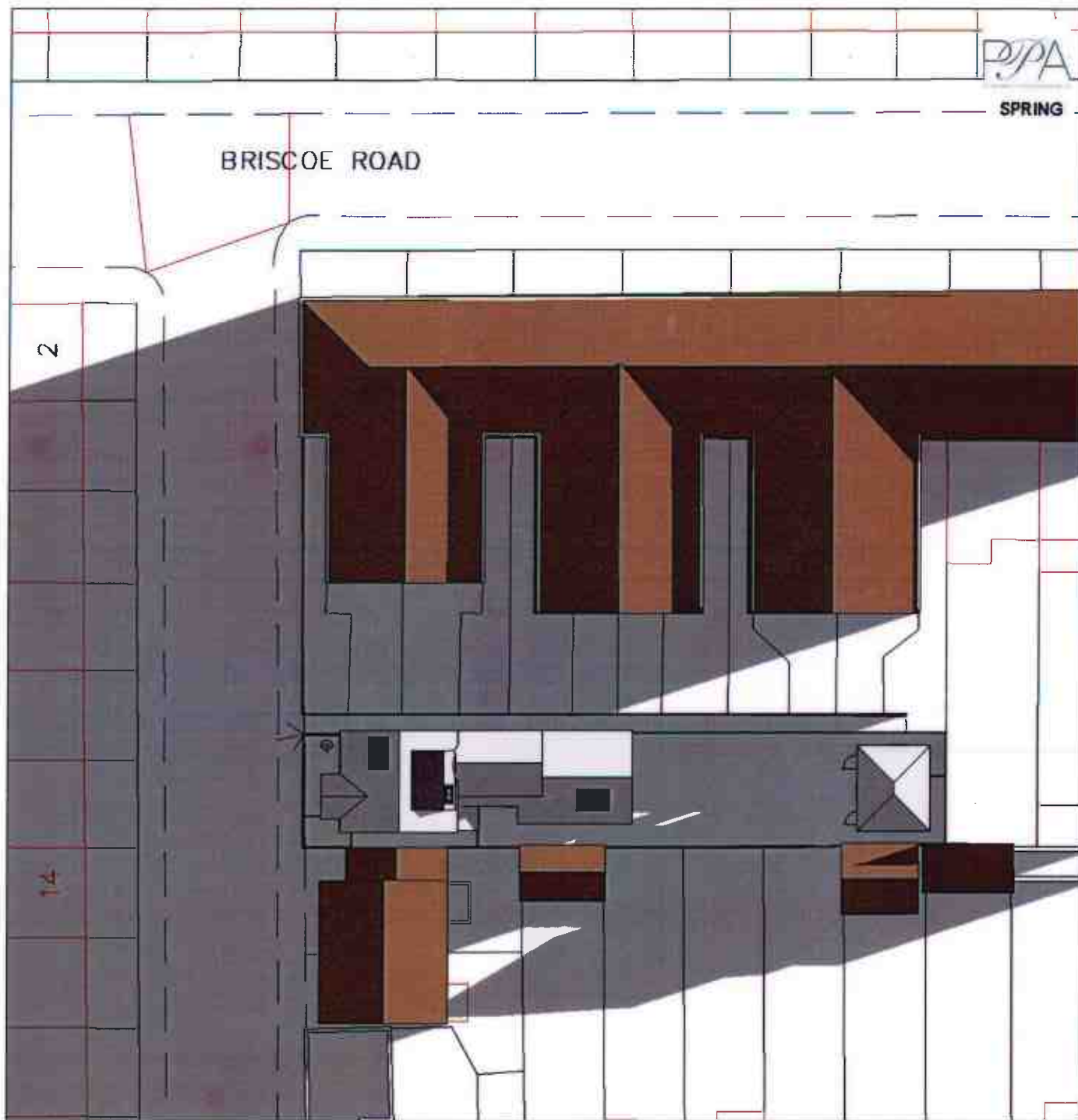
BRE Existing and Proposed Overshadowing Study for March 20th

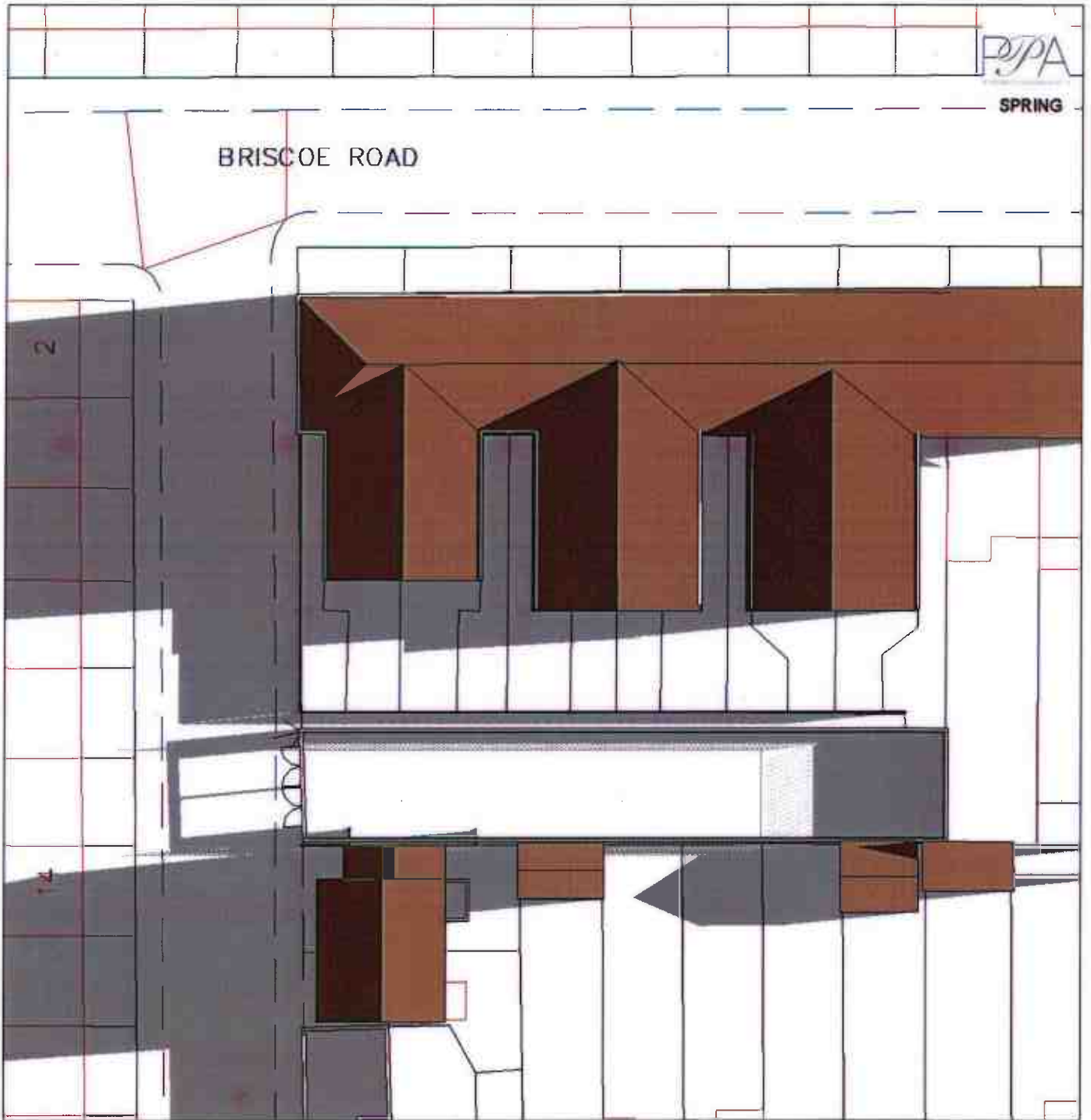
Existing Overshadowing Study shown followed by Proposed Overshadowing Study for the development, for hour intervals on March 20th

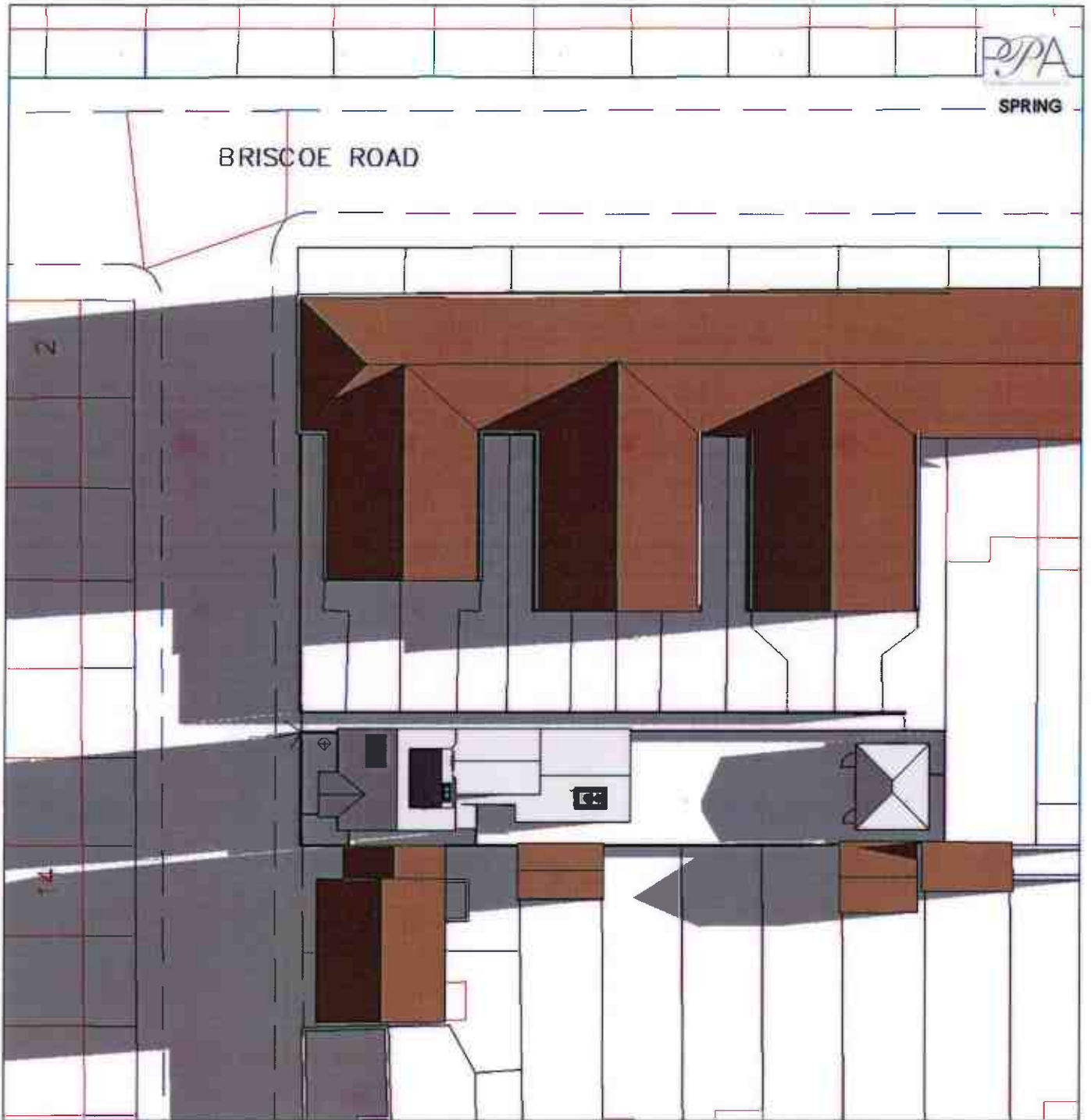


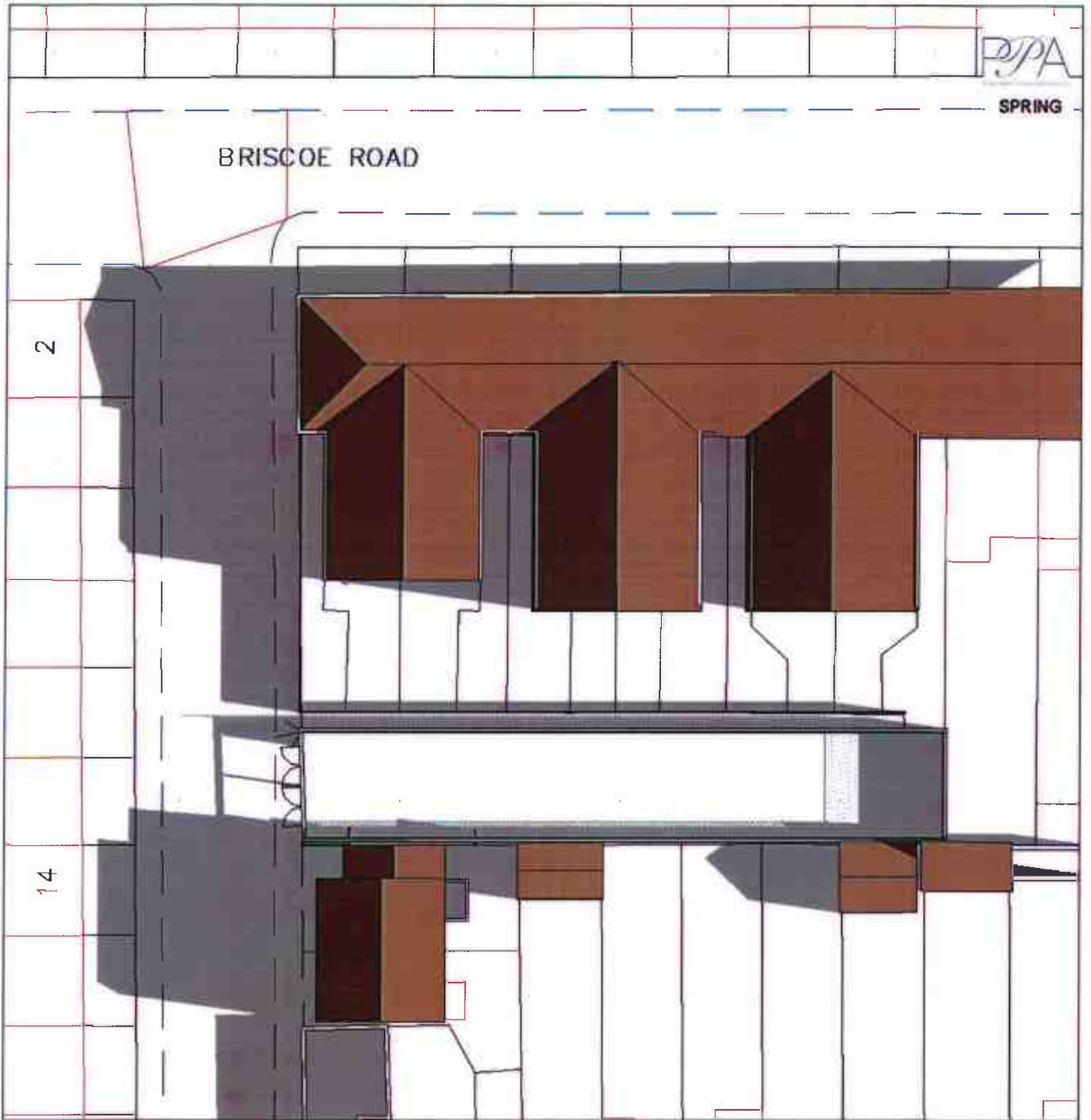


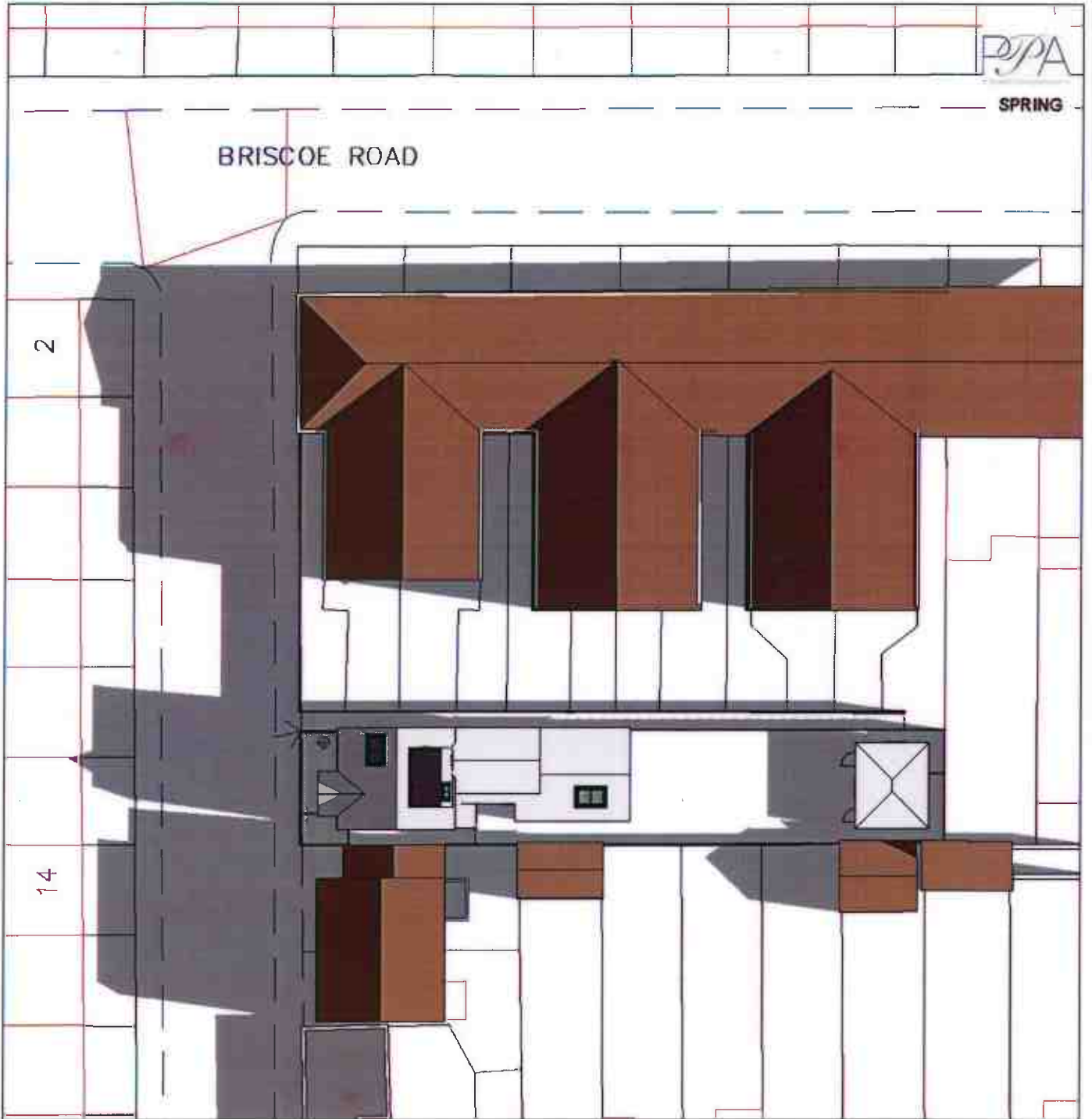


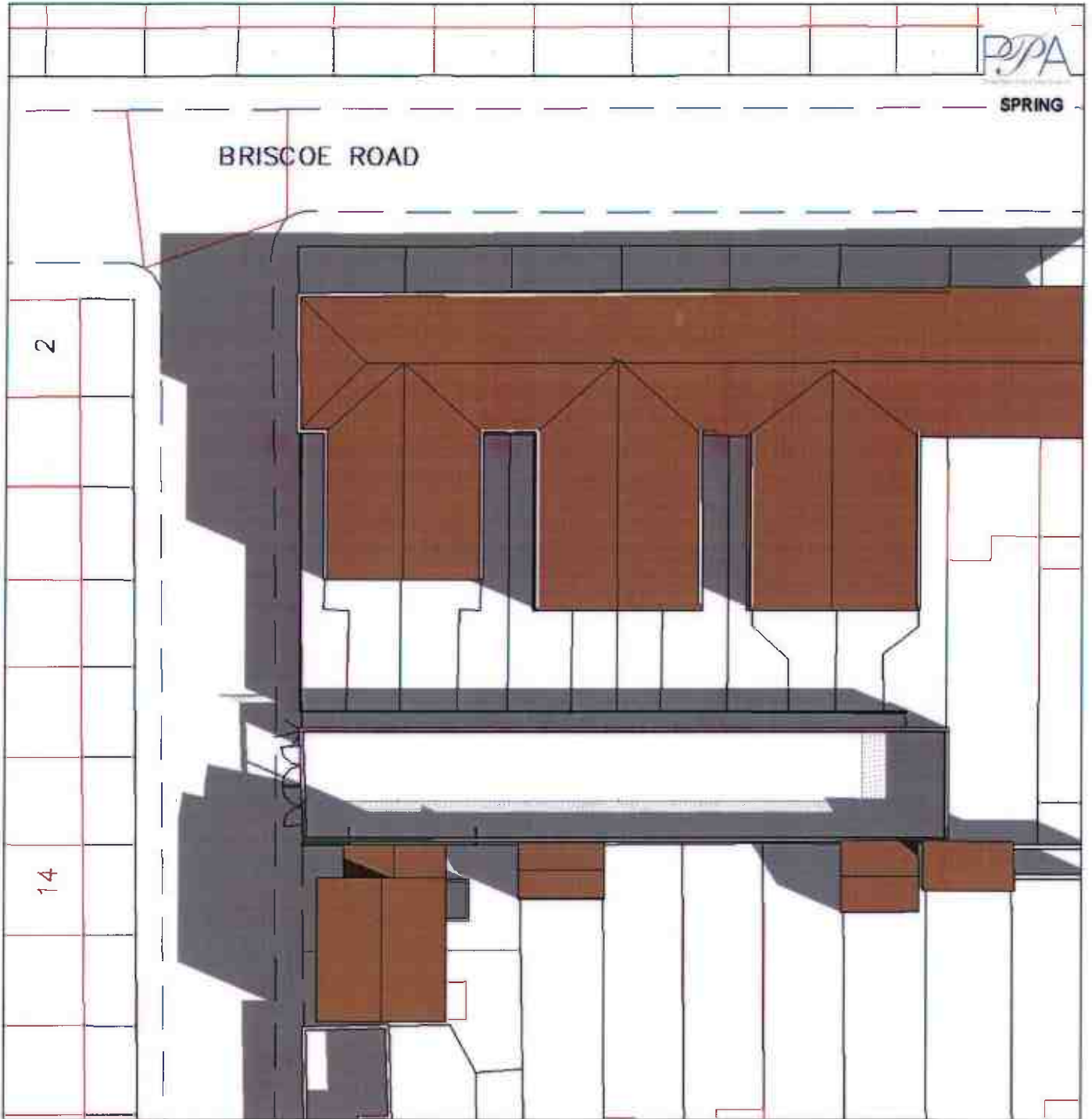


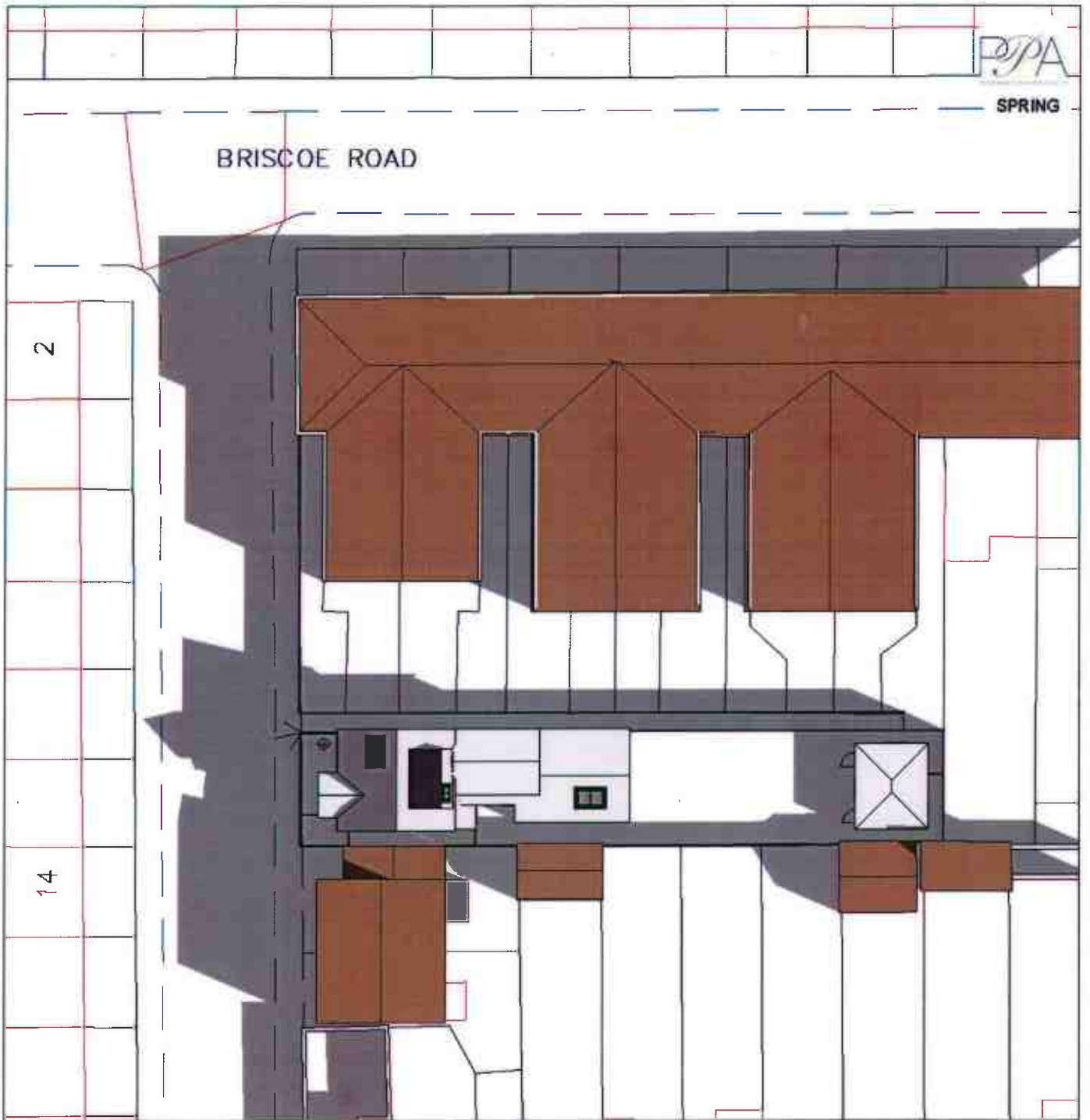


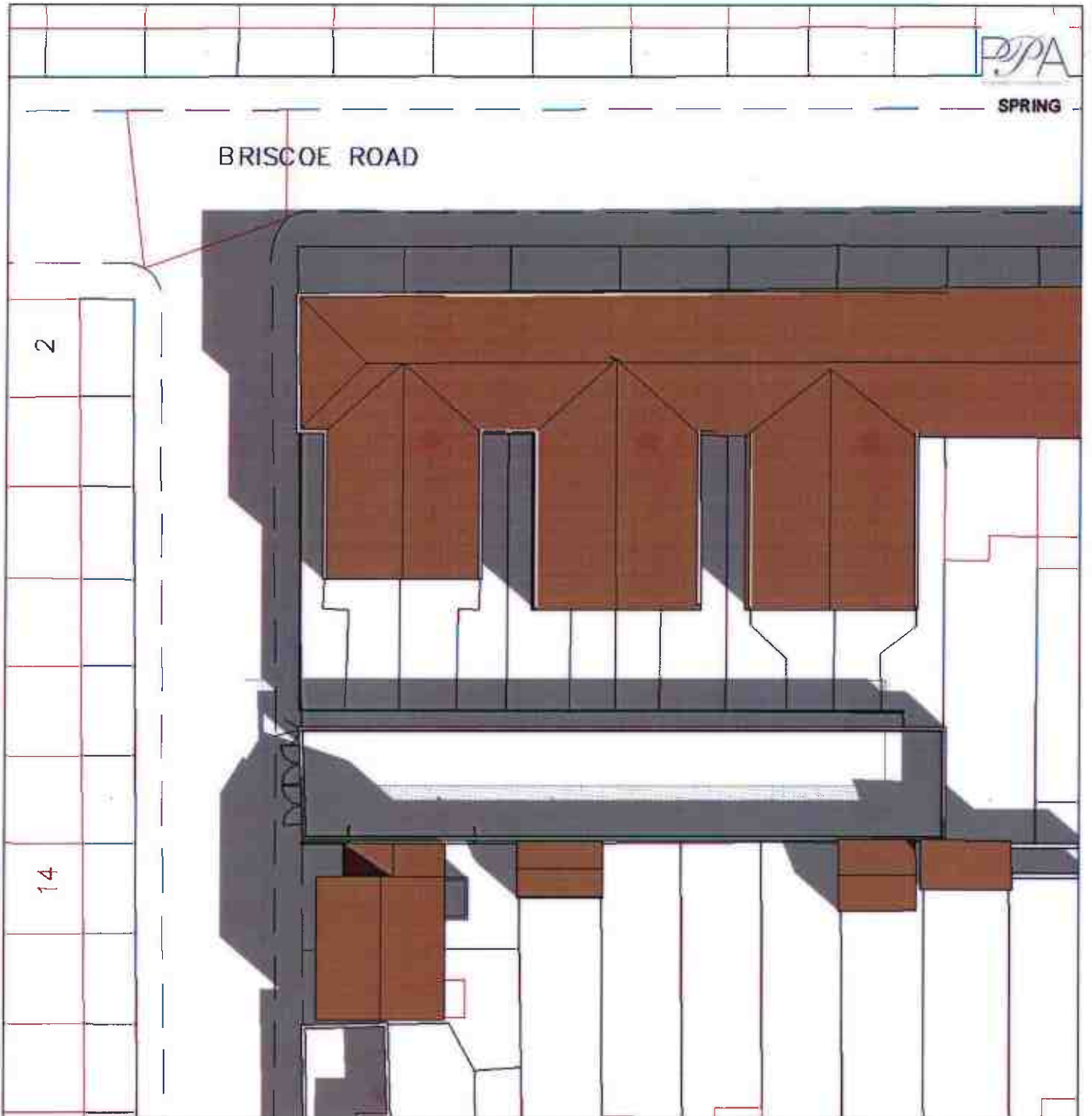


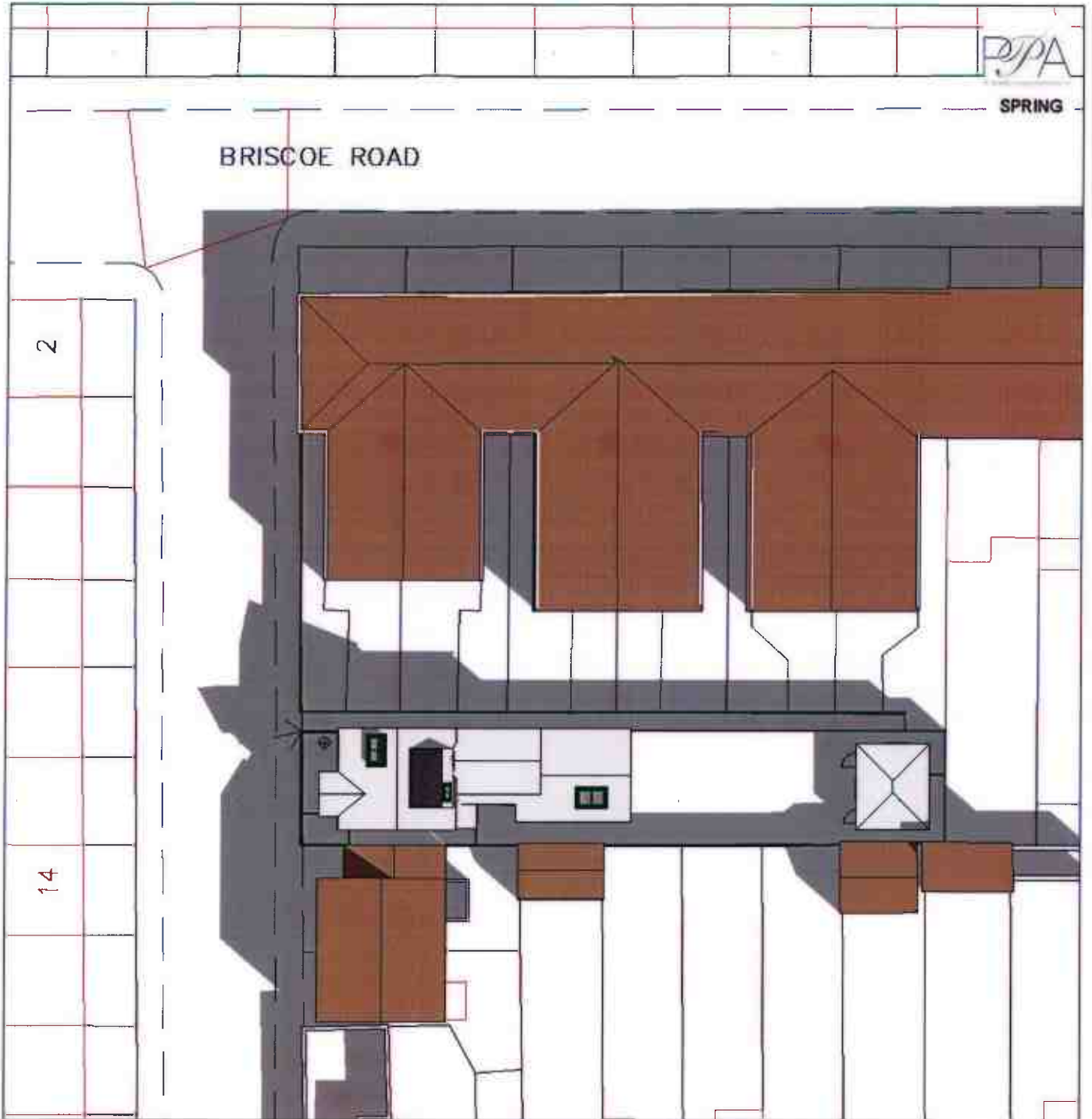


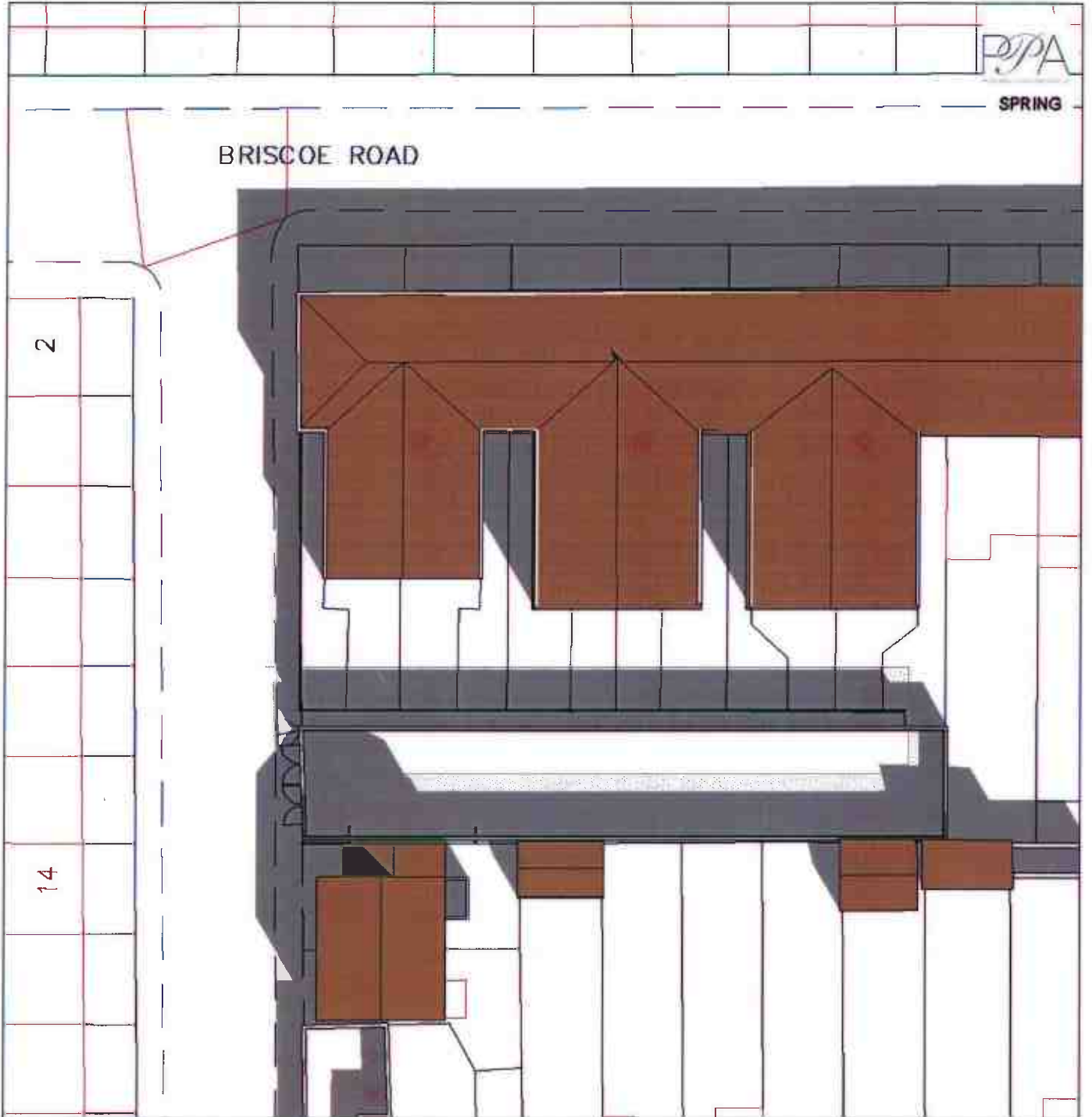


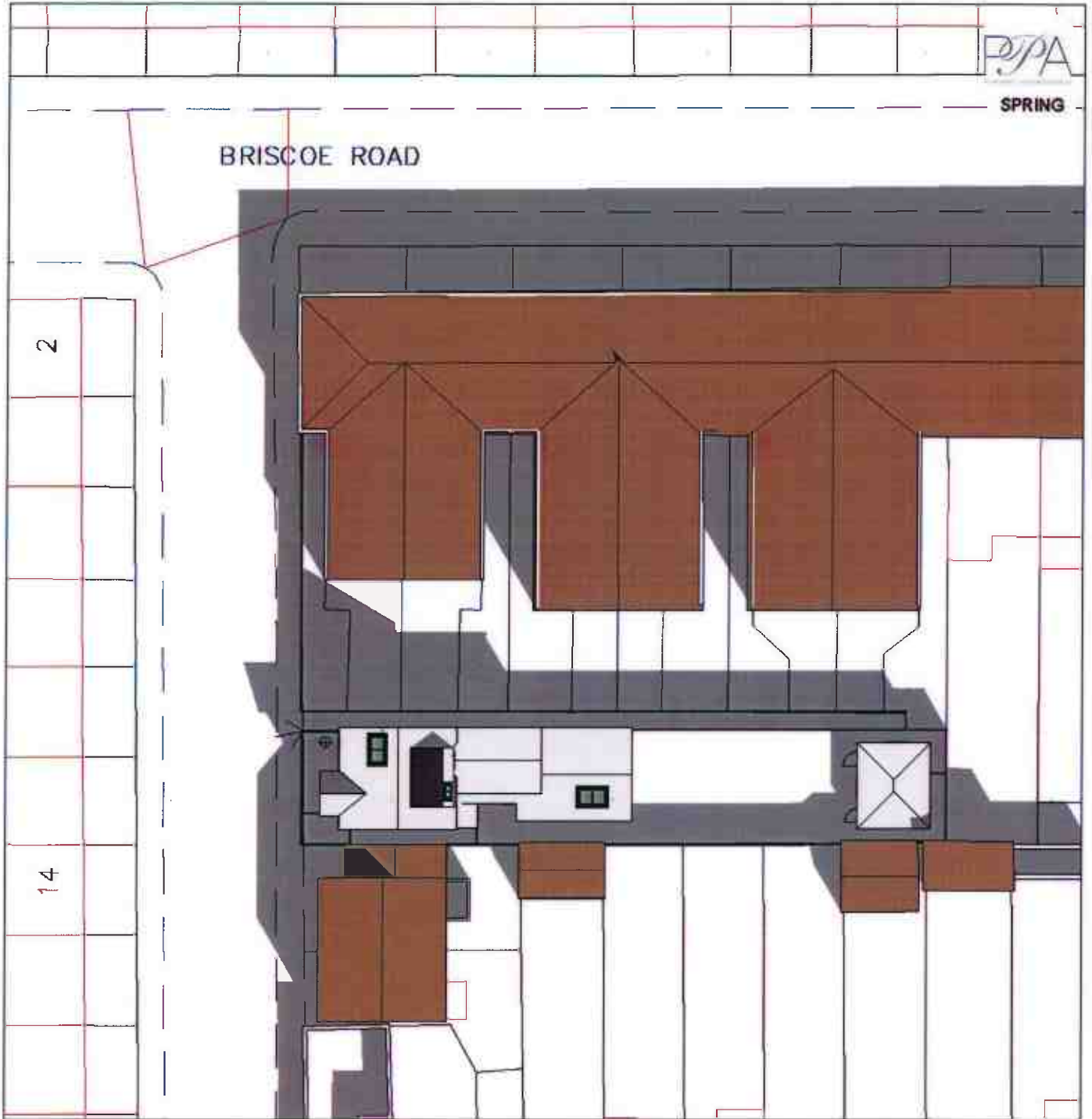


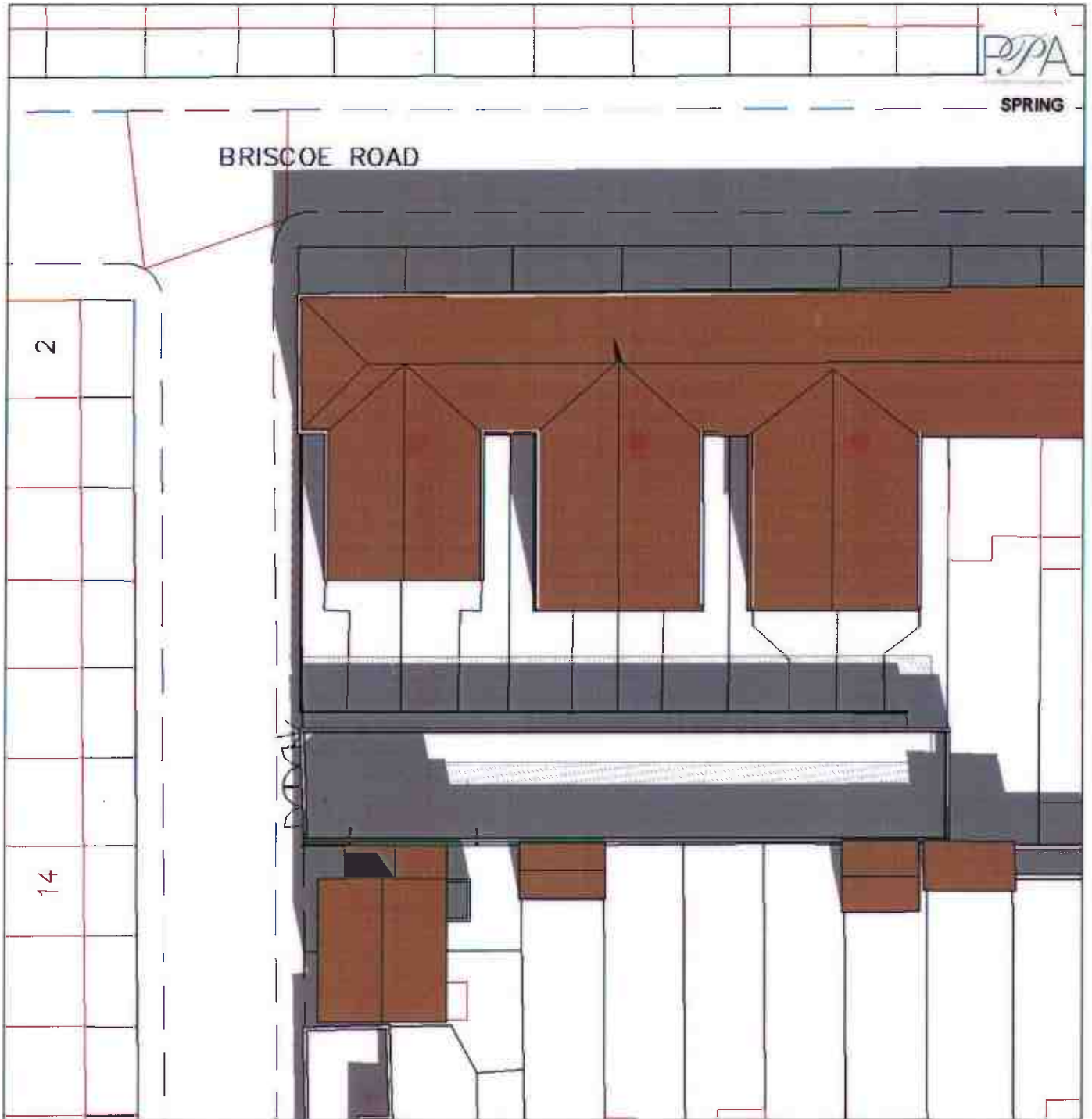


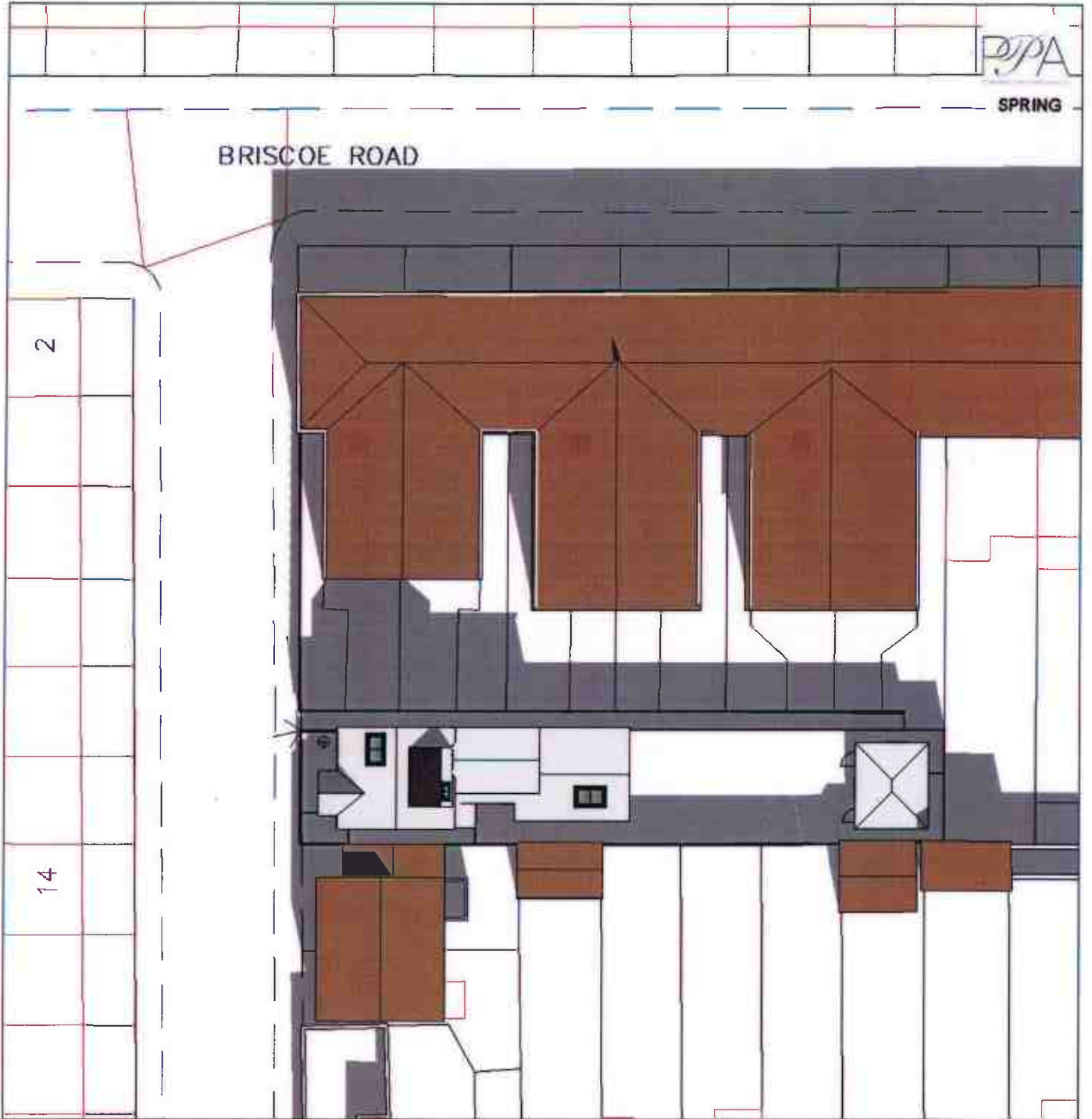


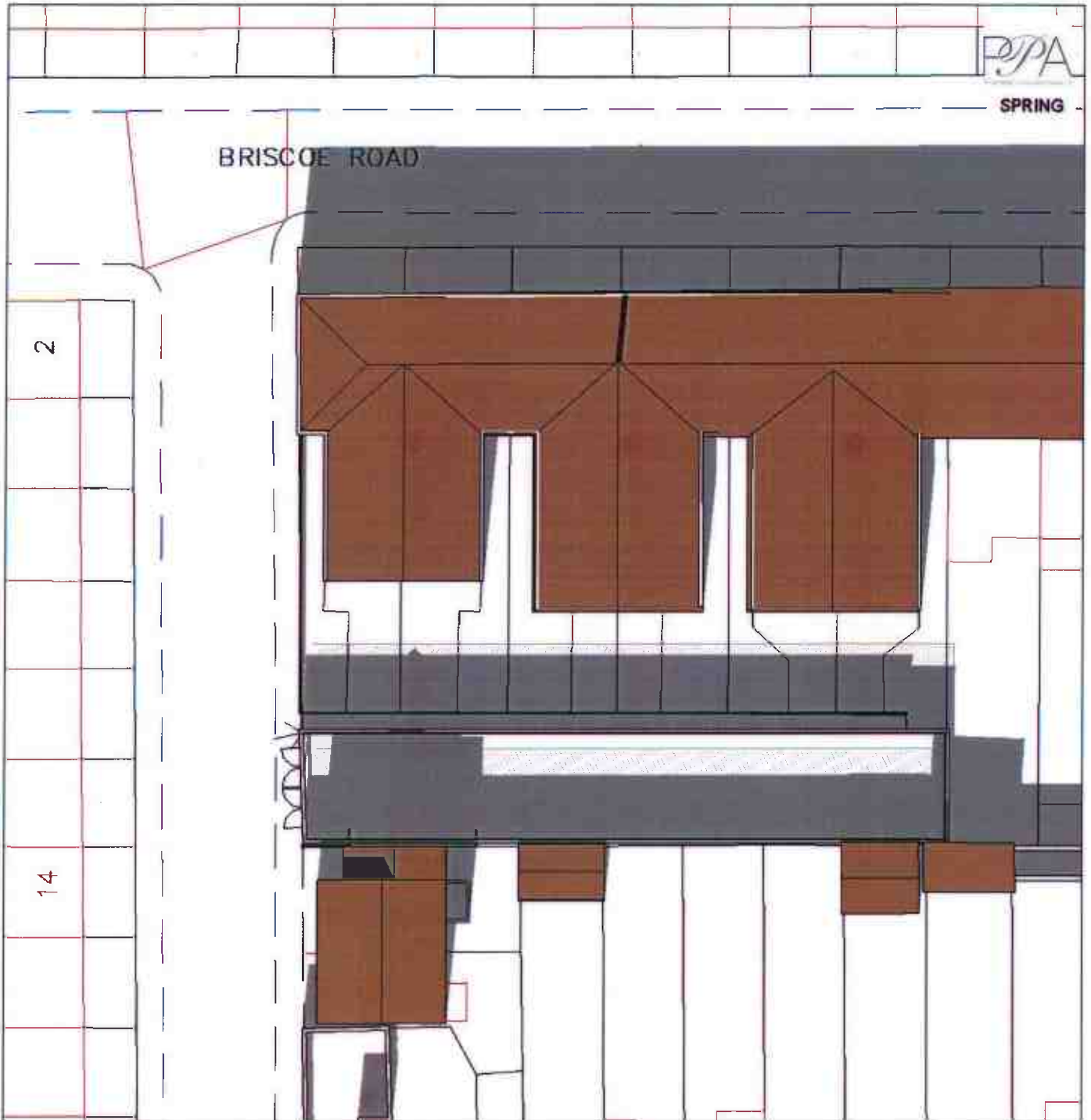


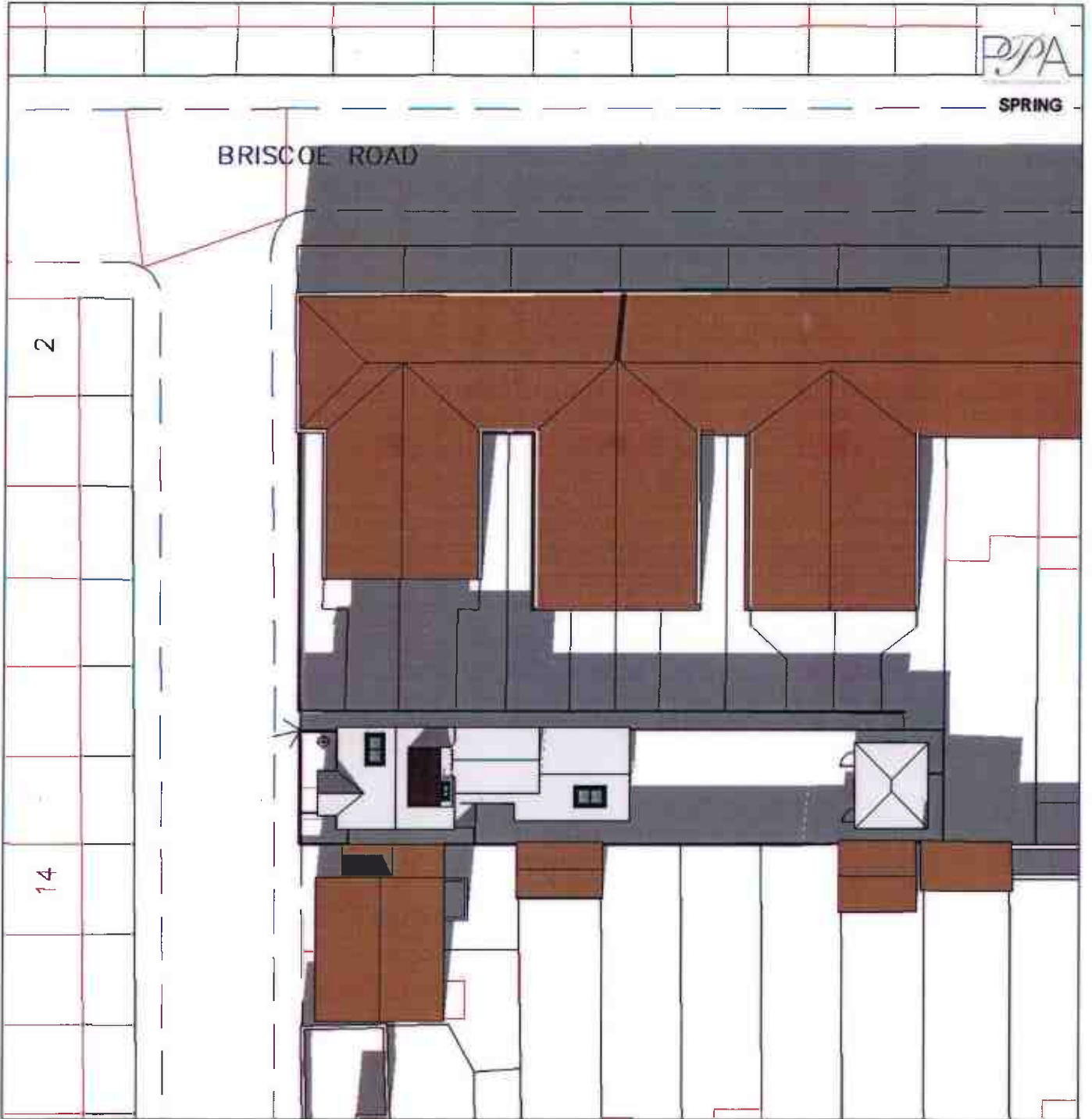


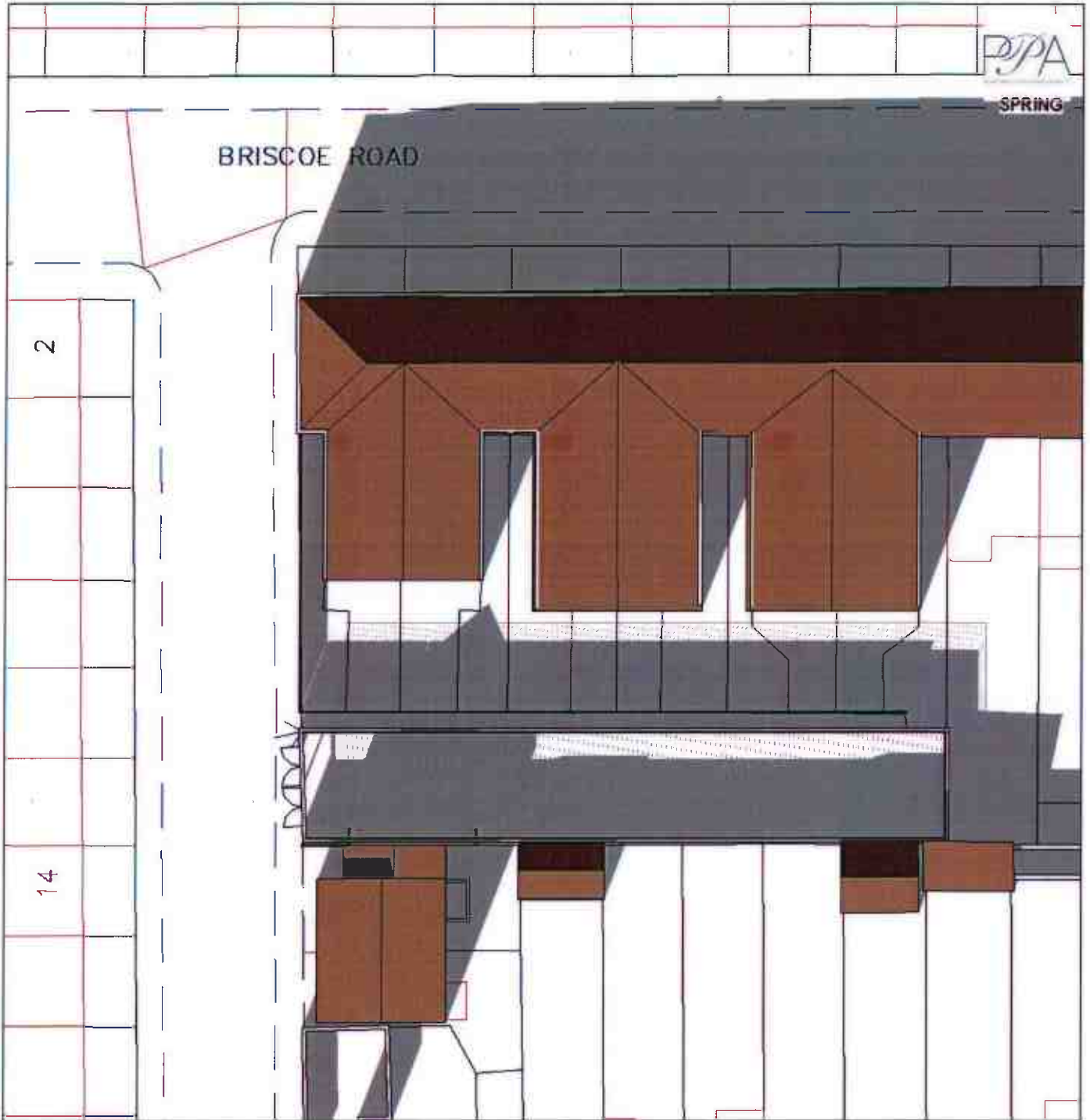


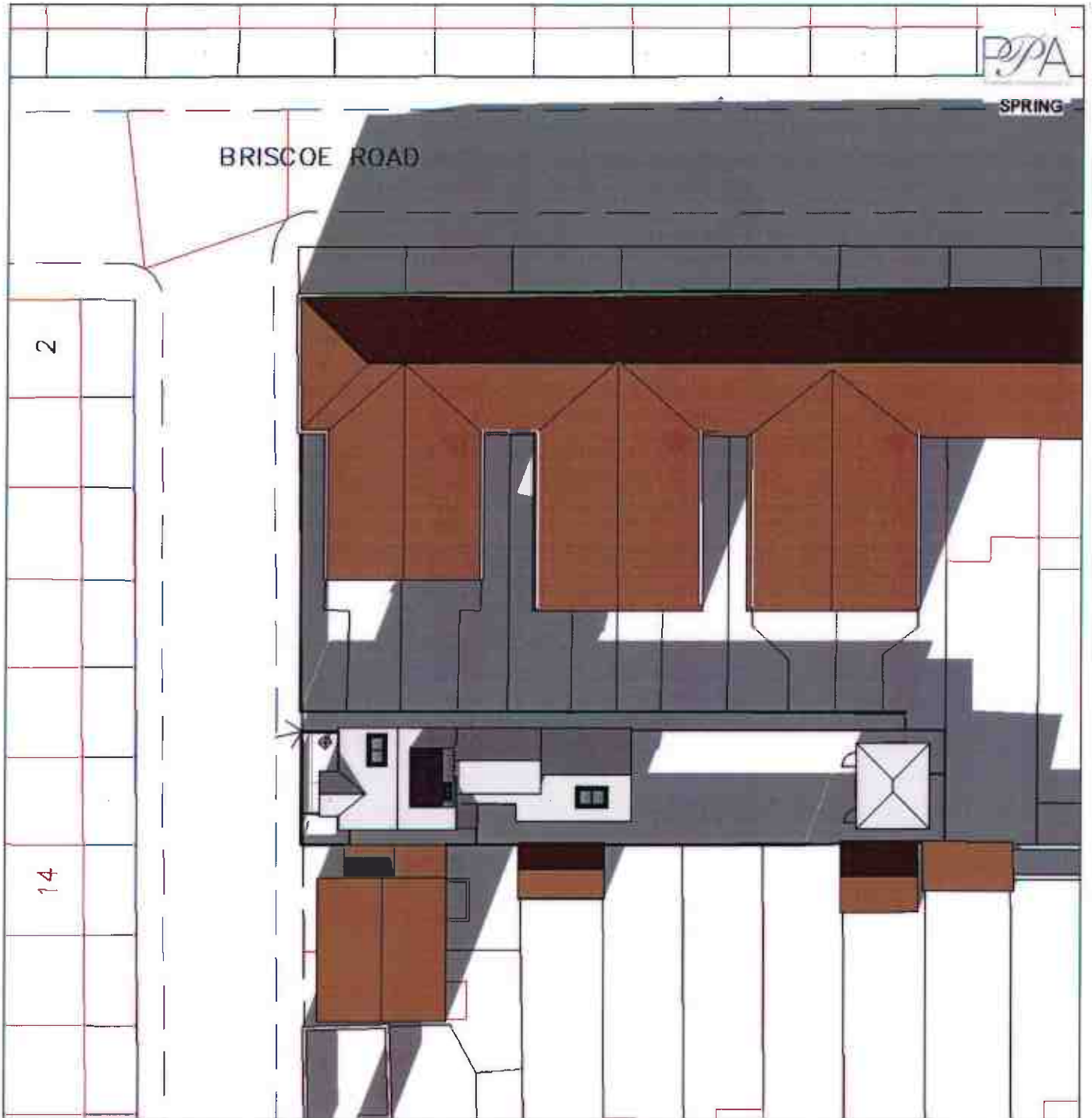


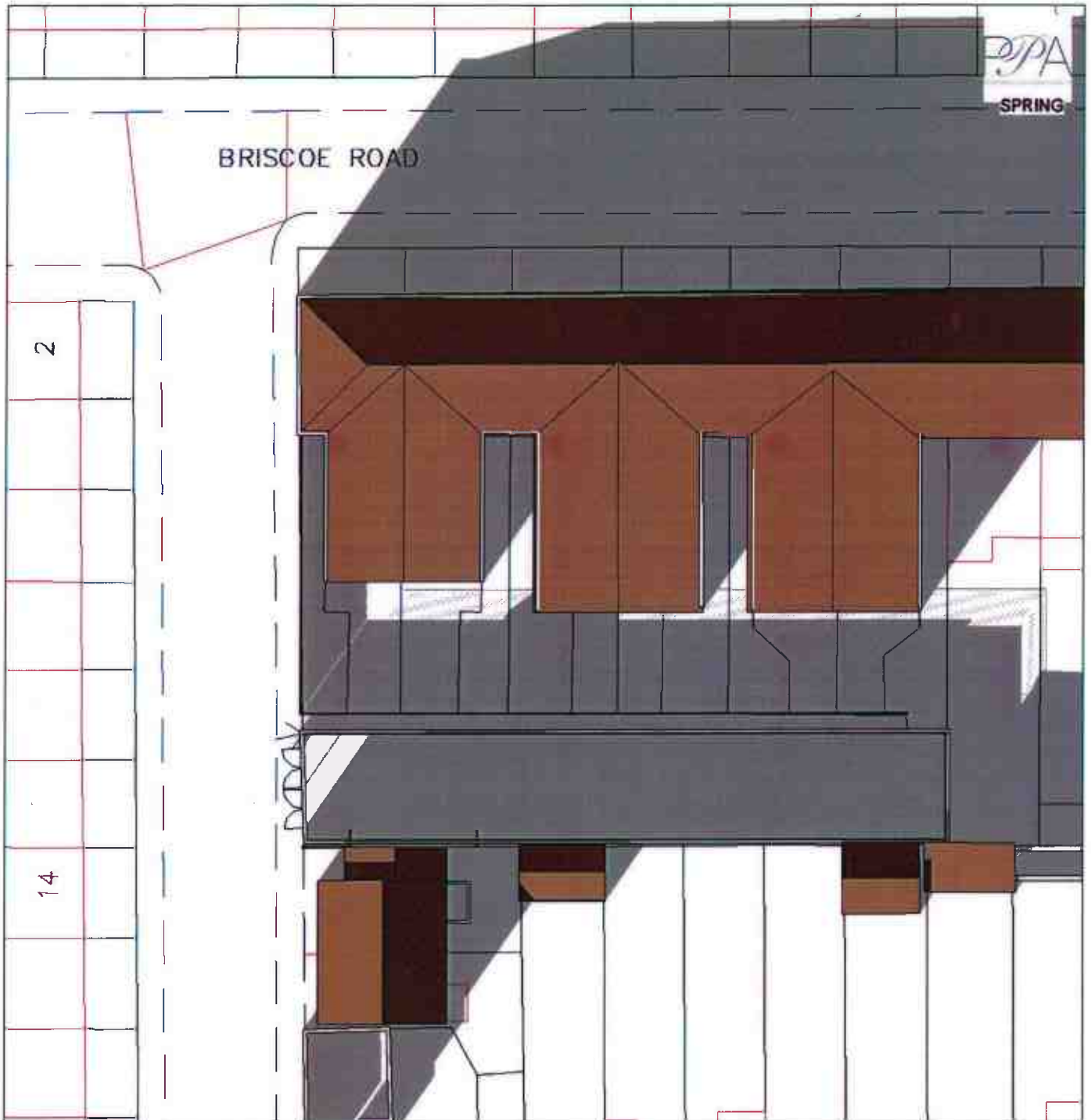


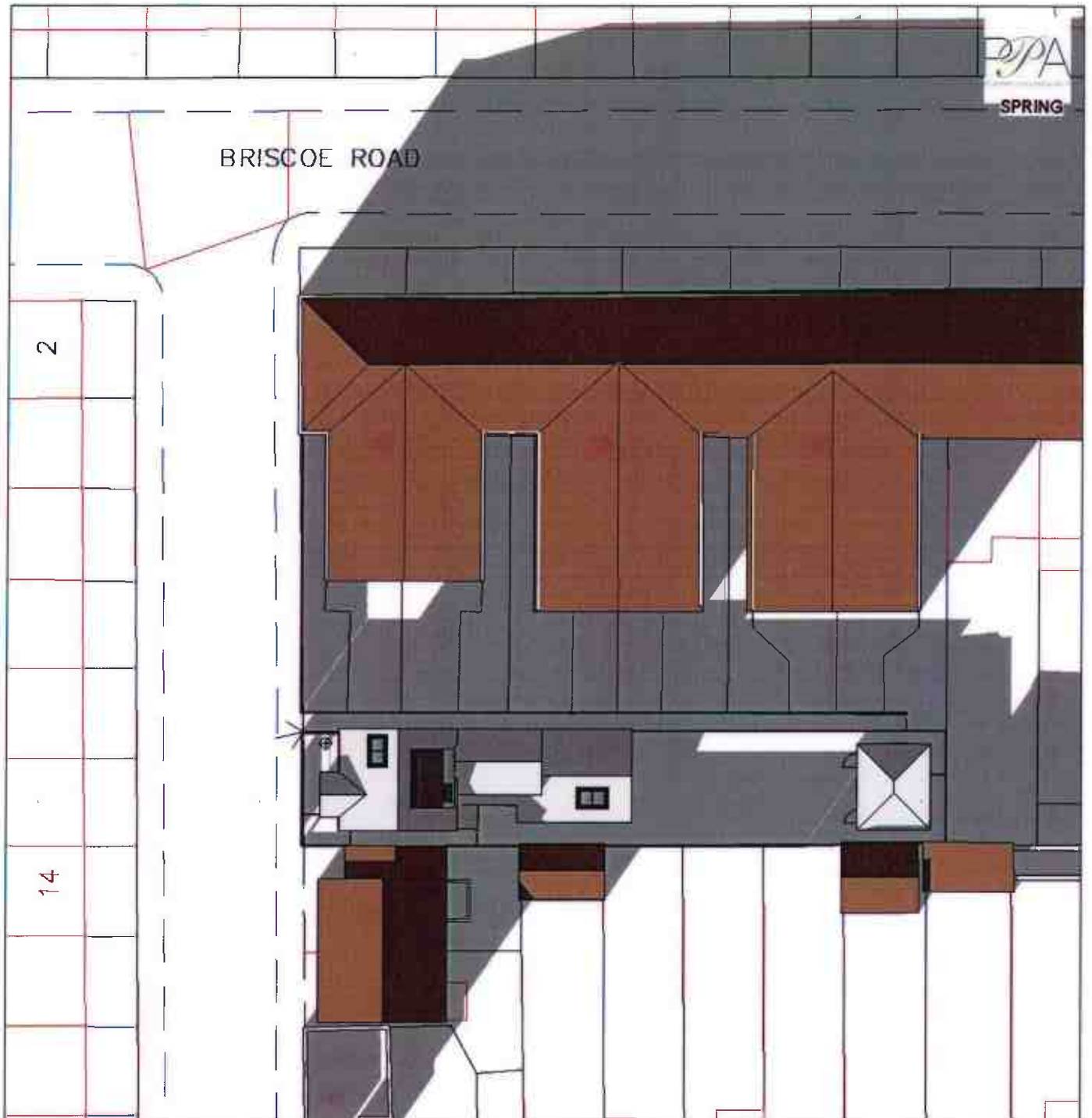


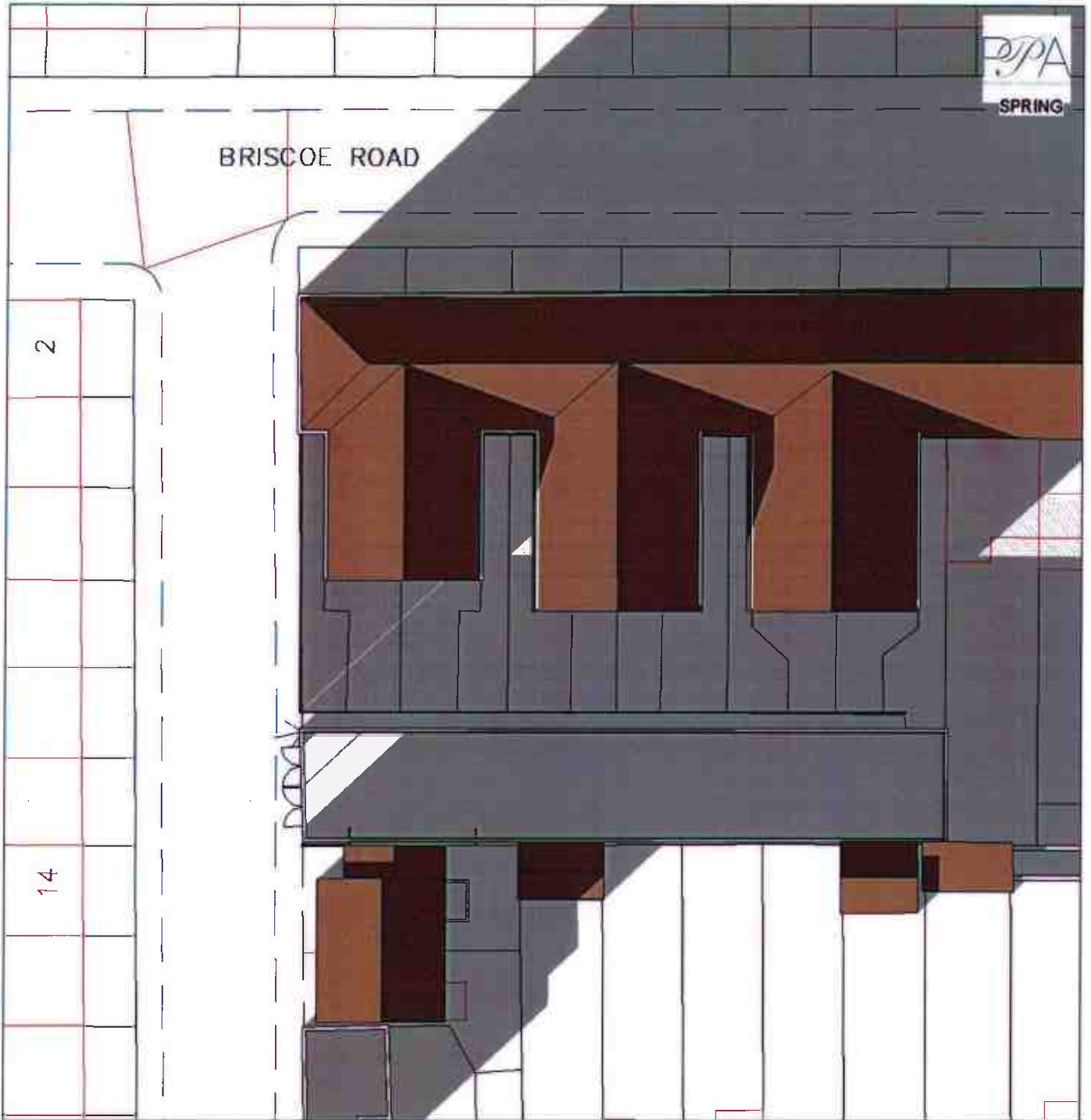


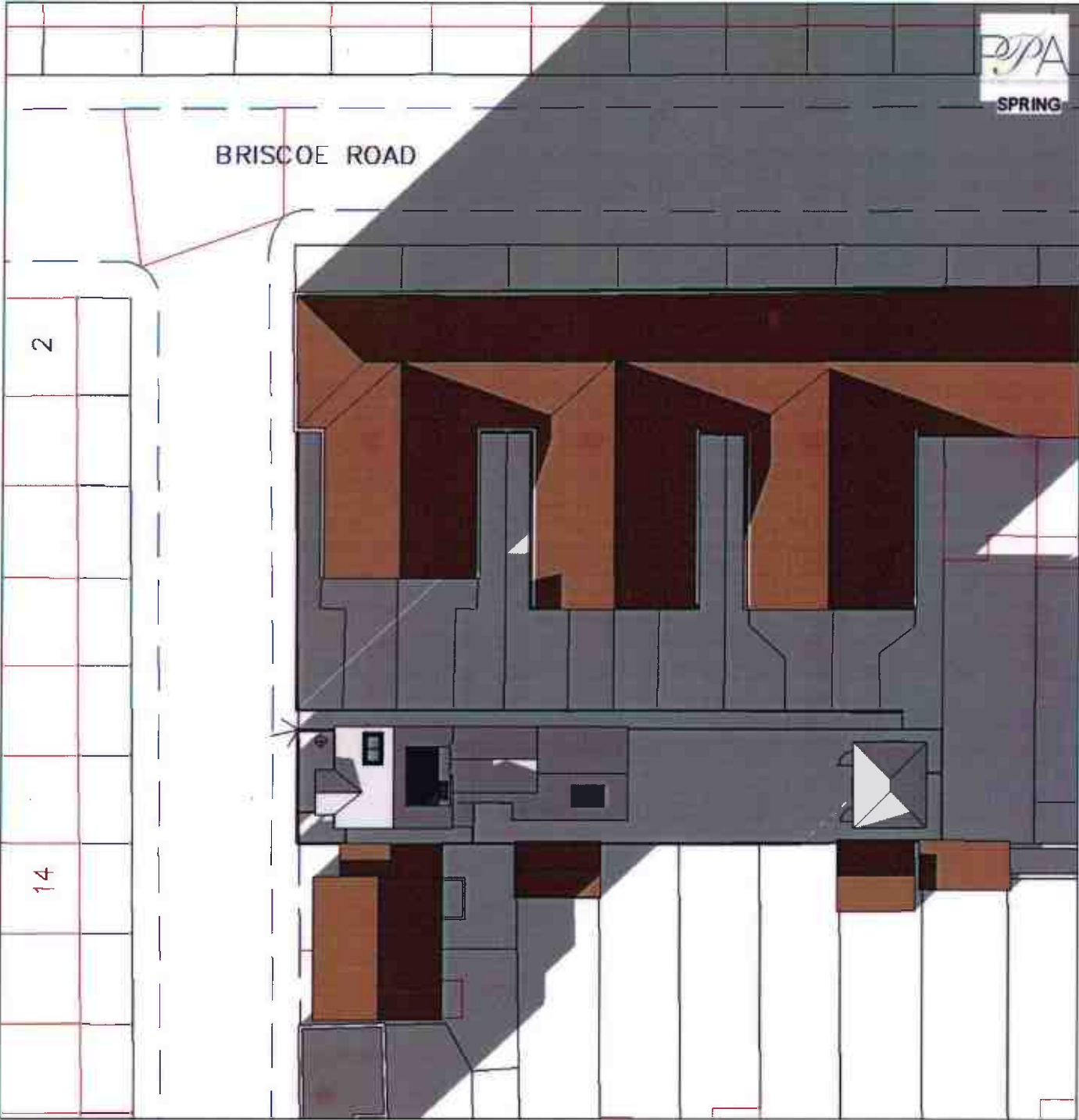


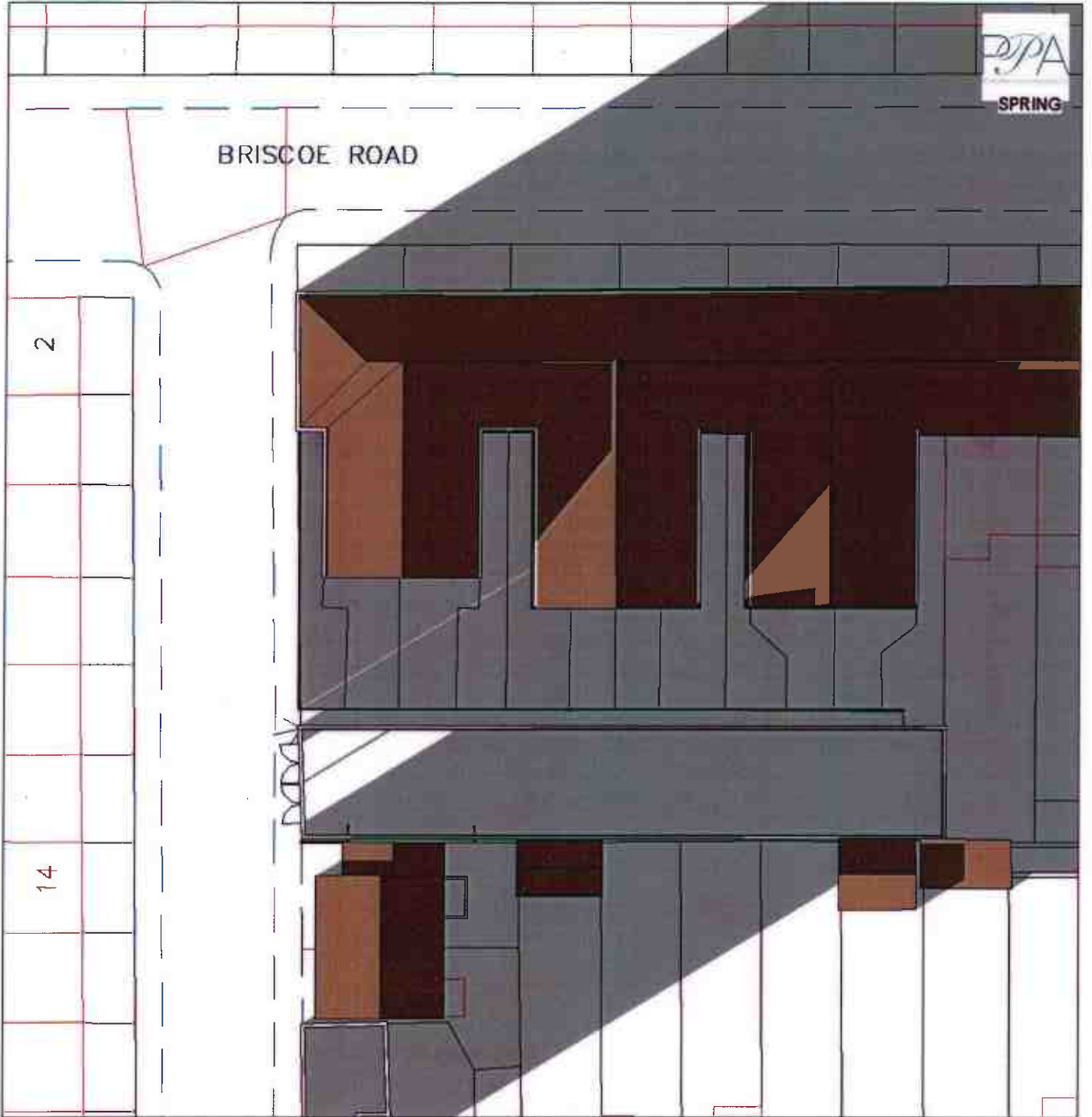


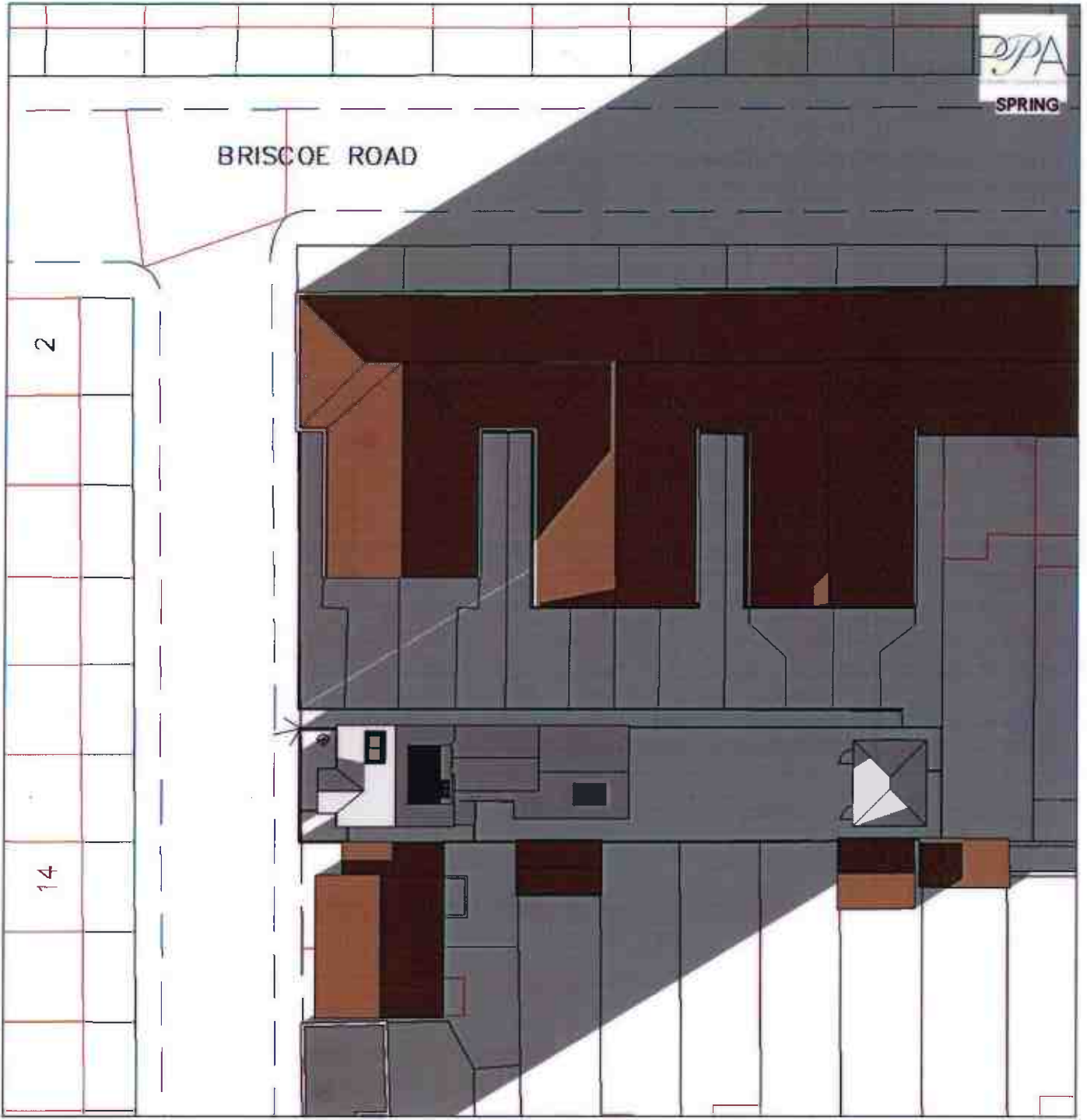












This page is intentionally left blank

PLANNING APPLICATIONS COMMITTEE
21st April 2016

<u>UPRN</u>	<u>APPLICATION NO.</u>	<u>Item No:</u> <u>DATE VALID</u>
	15/P2830	03/09//2015
Address/Site	7 Lambourne Avenue, Wimbledon Park, London, SW19 7DW	
Ward	Wimbledon Park	
Proposal:	Demolition of existing house and erection of a pair of two storey 5/6 bed semi-detached houses with accommodation at basement and roof levels	
Drawing Nos	907/01, 03 B, 04 C, 05 B, 06 B, 07 B, 10 B & 11 D	
Contact Officer:	Stuart Adams (0208 545 3147)	

RECOMMENDATION

GRANT Planning Permission subject to conditions and S106 agreement

CHECKLIST INFORMATION.

Heads of agreement: - Affordable Housing & Permit Free Development
Is a screening opinion required: No
Is an Environmental Statement required: No
Has an Environmental Impact Assessment been submitted – No
Press notice – Yes
Site notice – Yes
Design Review Panel consulted – No
Number of neighbours consulted – 8
External consultations – No.
PTAL Score – 1b
CPZ – P2(s)

1. **INTRODUCTION**

- 1.1 The application has been brought before the Planning Application Committee for consideration due to the number of objections received

2. **SITE AND SURROUNDINGS**

- 2.1 The application site comprises a two storey detached house located in Lambourne Avenue, which is a cul de sac accessed from Arthur Road, Wimbledon Park. The house is the last in a line of 4 properties on the eastern side of the road before reaching the houses at the bottom of the cul de sac. The house has a side boundary with the turning head area, giving it a corner location. It is set back from the pavement in an elevated position compared to pavement level. It sits on a plot which is appreciably larger and wider than the other 3 houses on the east side of the road.
- 2.2 Lambourne Avenue is characterised by detached houses in a maturely landscaped setting, to which the vegetation within the deep front curtilages contributes. Another key feature of the road is the topography, sloping downwards from Arthur Road, from south to north, to the bottom of the cul-de –sac. The most northerly properties on the far side of the turning head sit below street level which provides views beyond and a sense of openness.
- 2.3 The next door house, no 5 Lambourne Avenue, adjacent to the southern boundary of the application site, is a new replacement house, completed in 2015.
- 2.4 The property is located within the Wimbledon North Conservation Area (Sub-Area 3: Arthur and Leopold Road). It is also within a Controlled Parking Zone.

3. **CURRENT PROPOSAL**

- 3.1.1 The proposal is for the demolition of the existing house and erection of a pair of two storey 5/6 bedroom semi-detached houses with accommodation at basement and roof levels.
- 3.2 The proposed houses would have a traditional design using stock brick and stone detailing and Rivendale artificial slate as the principal materials. The hipped roof form and dormers would be similar to the adjoining house at no.5. Light wells for the basement are located to the side (behind a side garden wall) for the northernmost plot and to the rear for the adjoining one. Off street car parking for 2 cars is provided for each house within a 5.1m wide front driveway. This results in the removal of two existing on street bays.

- 3.3 The floor space (GIA) and amenity space standards of individual residential units are as follows compared to the adopted London Plan guidelines and Merton planning policy DM D2 Design considerations in all developments).

<u>Proposal</u>	<u>Type(b)bed (p) person</u>	<u>Proposed GIA</u>	<u>London Plan</u>	<u>Amenity Space (sq m)</u>	<u>London Plan/ Merton requirement</u>
House A	<u>6b12p</u>	<u>365</u>	<u>129</u>	<u>280</u>	<u>50</u>
House B	<u>6b12p</u>	<u>398</u>	<u>129</u>	<u>205</u>	<u>50</u>

4. **PLANNING HISTORY**

- 4.1 WIM6953 - Erection of house and garage – Grant - 27/08/1963
- 4.2 WIM4240 - Formation of a new street and also to provide an additional building plot making a layout of 20 building plots – Grant - 19/03/1959.

5. **CONSULTATION**

- 5.1 The application has been advertised by standard site notice procedure and letters of notification to the occupiers of neighbouring properties.
- 5.2 In response to consultation, 8 letters of objection received. The letters raise the following concerns:
- Loss of 2 on street CPZ car parking spaces. Increased impact upon traffic and parking.
 - Semi-detached houses will make the road look urban. The scale, size, height, width and proximity to the street corner would erode the sense of spaciousness at this highly sensitive and elevated location, would appear incongruous and unduly dominant, adverse impact on Conservation Area, overdevelopment
 - Plans fail to portray the setback position of no 9 or provide details of the road levels along this frontage. Does not reflect the manner in which the proposal relates to the topography of the site and street scene generally
 - Restricted covenants for a single house only
 - Gap of 1m to the boundary with no.5 is insufficient for a building of this size in this context and would erode the existing sense of spaciousness.. Single storey garages on the other houses retain views of trees between the houses and give a sense of spaciousness which is a key feature of the area.

- The ridge heights of properties along Lambourne Avenue are stepped, reflecting the natural topography of the area. Proposal fails to respond to this pattern of development or the contours of the road. The over scaled form of the roof is further evidenced by the extent of flat roof proposed.
- Proposed design is contrived and adversely contrasts with the simple roof forms in Lambourne Avenue, with gable and hipped features on the front and side elevations adding bulk and reinforcing its visual dominance. Victorian/Edwardian style does not fit with the varied 20th century styles of the other houses in Lambourne Avenue. Large arched windows not in keeping
- The front gardens along Lambourne Avenue are characterized by soft landscaping which frames the road and views towards Wimbledon Park. The proposed front curtilage would be dominated by hardsurfaced parking area and would be visually incongruous and detrimental to the street scene.
- The contours of Lambourne Avenue and the arrangement of buildings enable views towards Wimbledon Park and beyond and this is positively identified as being of significance in the CA assessment. The dominant scale would impact on views within the CA and those towards Wimbledon Park and beyond. The significant harm to the heritage asset is not outweighed by any public benefit.
- The basement bedrooms would not provide sufficient daylight or sunlight and would have a very restricted outlook onto a small light wells
- Noise
- Does not respect rear boundary lines, extending further towards the rear without stepping down in height.
- effect of the basement on the stability of land, neighbours and water table
- Loss of privacy and loss of sunlight to garden of no 9

5.2.1 Following re-consultation, 7 letters of objection were received. Neighbours consider that the changes are minor and have not addressed their concerns. The letters of objection raise the following points in regards to the amendments:

- The proposal for two houses on the current site of a single property. This is out of character with the road which is made up of detached houses.
- Overbearing
- Two driveways and the removal of the part of the front garden would have an adverse impact on the green nature of the conservation area.
- Loss of two on road car parking spaces would cause problems for visitors

- The amended design is still awkward and contrived. The amendments do not go far enough – houses still excessive in scale
- The step down in ridge height is not sufficient and windows are not well designed. Too many windows on North-east elevation which are not in keeping with other houses.
- Removes the existing gap between no 5 and no 3 formed by the two adjacent garages. No 5 was preventing from building above the garage.
- Excessive rearward projection
- The overall width remains overwhelming as the mass of the two houses together produces a front elevation that is more than 1/3rd wider than any other house in the area.
- Structural damage to adjacent properties due to basement and impact upon land stability and water table
- Increase in ridge height of 1.08m in comparison to existing is a huge difference.
- Roof should be lower to allow views of Wimbledon Park and beyond. Loss of openness
- The north end of the building has been slightly set back, but this is only very minimal and will make little difference when viewed from the street.
- Mistake in the drawings such that a window has not been shown on the North-West elevation at the rear of the first floor – there is a window shown on the 1st floor plan but not on the elevation
- The vast multi-paned stairwell window is totally out of keeping with all the other houses on the street.
- Excessive size of the proposed off street parking is out of keeping
- Set precedent
- Overdevelopment

6. **POLICY CONTEXT**

6.1 Merton Core Planning Strategy (July 2011)

CS8 – Housing Choice

CS9 – Housing Provision

CS14 - Design

CS15 – Climate Change

CS18 – Active Transport

CS19 – Public Transport

CS20 - Parking, Servicing and Delivery

6.2 Adopted Merton Sites and Policies Plan (July 2014)

DM H2 Housing Mix

DM H3 Support for affordable housing

DM.D2 Design Considerations in All Developments

DM.D4 Managing Heritage Assets

DM.EP2 Reducing and Mitigating Noise
DM T1 Support for sustainable transport and active travel
DM T2 Transport impacts of development
DM T3 Car parking and servicing standards

- 6.3 London Plan (July 2015) and Minor Alterations to the London Plan (March 2016)
- 3.3 (Increasing Housing Supply),
 - 3.4 (Optimising Housing Potential),
 - 3.5 (Quality and Design of Housing Developments),
 - 3.8 (Housing Choice),
 - 5.1 (Climate Change Mitigation),
 - 5.3 (Sustainable Design and Construction).
 - 7.3 (Designing Out Crime)
 - 7.4 (Local Character)
 - 7.6 (Architecture)

7. **PLANNING CONSIDERATIONS**

- 7.1 The principal planning considerations related to this application are the principle of development, the design of the new houses and the impact upon the Lambourne Avenue street scene and the Wimbledon North Conservation Area, the standard of accommodation provided, impact upon neighbouring amenity, trees and parking/highways considerations.

7.2 Amendments

- 7.2.1 The plans have been amended in the following ways:

- Single storey side element removed. Ridge and eaves level lowered on two storey side element of corner house to reduce massing and entrance door relocated to increase landscaping to the corner.
- Amended layout of front garden to increase soft landscaping and relocated bins and bike stores.
- On street car parking spaces to be removed annotated on plans and pavement and ridge/eaves levels shown on elevations

7.3 Principle of Development

- 7.3.1 Planning policy DM D4 (Managing heritage assets) requires that development that affects a heritage asset or its setting will be required to conserve and where appropriate enhance Merton's heritage assets and distinctive character. The policy further states that loss of a building that makes a positive contribution to a conservation area or heritage site,

should also be treated as substantial harm to a heritage asset. The existing dwellinghouse has little architectural merit and is not considered to make a positive contribution to the Wimbledon North Conservation Area. Therefore, in principle, the demolition of the existing building is considered acceptable.

7.3.2 The redevelopment of the site would create two 6 bedroom houses, which would result in a net increase of 1 unit on the site. The London Plan and the Council's adopted planning policies seek to increase housing provision where it can be shown that an acceptable standard of accommodation will be provided. The London Plan 2015 sets Merton a minimum target provision and the development would make a modest contribution to meeting that target.

7.3.3 In terms of providing two dwellings on this site, there is no principle objection subject to the normal planning considerations set out below. It is noted that neighbours have raised concerns regarding a covenant restricting development to one dwelling, however this is a civil matter and is not a planning consideration.

7.4 Design

7.4.1 Planning policy DM D2 (Design considerations in all development) seeks to achieve high quality design by relating positively and appropriately to the siting, rhythm, scale, density, proportions, height, materials and massing of surrounding buildings and existing street patterns, historic context, urban layout and landscaping features of the surrounding areas.

7.4.2 Lambourne Avenue is characterised by detached houses with relatively deep setbacks from the road. The large detached houses at the northern end of this cul-de-sac are predominantly at a lower level than the road. As noted in the Character Assessment for the Sub-Area, this arrangement of highway and buildings

'combine to form a long wide gap when viewed from within Arthur Road. This allows an extensive view across wooded gardens to Wimbledon Park and beyond.'

The proposed houses do not sit any further forward on the plot than the existing house to be demolished or the adjoining house at no.5, therefore this long, wide gap which is a key characteristic of Lambourne Avenue in relation to the Conservation Area is considered to be maintained.

7.4.3 The houses on the eastern side of Lambourne Avenue follow the road contours with roofs and eaves heights stepping down to follow the topography. This stepping down is maintained in the proposed

development, and in recognition of the fact that no 7 sits in an elevated position above the turning head, the application has been amended to reduce the height and massing of the element closest to the northern boundary further still and step the building back with a staggered building line. 3 Lambourne Avenue has a ridge and eaves height 0.34m and 0.58m higher than its neighbour at no.5. The proposed development would result in no 5 having a ridge and eaves height 0.35m and 0.54m higher than the closest element of the proposed houses, maintaining a similar relationship with no 5 to that which exists between no's 3 and 5. The ridge height of the main element would be 1m higher than the existing house and the part closest to the corner would be no higher than the existing ridge as well as being set back behind the main elevation. The proposed development is considered to satisfactorily follow the existing pattern of development in terms of ridge and eaves heights.

- 7.4.4 In terms of the height and massing and siting, in addition to the step in height and set back at the corner, it should also be noted that in contrast to the existing prominent projecting gable end, the roof design has a hipped roof form, sloping away from the front elevation rather than projecting vertically, to minimise its presence in the street scene.
- 7.4.5 The plans have been amended to remove hard landscaping paths and steps between the side elevation and the northern boundary to maintain a green and open landscaped aspect and the proportion of soft to hard landscaping has been increased within the front curtilage to provide a softer appearance.
- 7.4.6 In terms of maintaining suitable gaps around buildings, between no.s 3 and 5, a 4.272m gap exists between the upper floor elements, made up of the single storey garage belonging to no.3 and a 1m gap between the flank wall of the new house at no 5 and the boundary with no.3. A similar 4.266m gap is maintained between 5 and 7, made up of the single storey garage of no 5 and the 1.1m gap between the new house flank wall and the boundary with no. 5. The proposed development has also been amended to retain at least a 4.6m gap from the northern boundary, increasing to 7.5m. Whilst the two storey element of the proposed houses would be situated closer to number 5 Lambourne Avenue, resulting in a reduced gap between these neighbours, it would be similar to existing spacings and a large gap on the other side of the buildings would be retained in order to maintain a sufficiently green and open aspect at the corner. Whilst the massing of the building would be greater than the existing house, care has been taken to maintain a suitable massing with respect to its location in the streetscene and on balance, it is considered that the proposed development would respect the visual amenities of the street scene and would conserve the character of this part of the Wimbledon North Conservation Area.

7.5 Basement

7.5.1 The proposed basement would have a limited impact upon the visual amenities of the area with light wells being located at the rear and side of the houses. The light wells would be fitted with low-rise balustrades and given their siting would have a limited impact upon the visual amenities of the street scene. There are no trees within close proximity of the proposed basement that would be affected by the deeper excavation of the land. Neighbours have expressed concerns in relation to the proposed basement and its impact upon land stability, impact upon adjacent properties and water table. The applicant has commissioned an independent structural engineer (RJC Structural Design) to produce a Construction Method Statement which explains the construction and detailing of the proposed basement. The Council's Structural and flood engineers have confirmed the acceptability of the proposed basement details subject to conditions. Separate building regulations approval would be required for the construction of the basement and the provisions of party wall legislation would apply..

7.6 Standard of Accommodation

7.6.1 The proposed houses would provide a satisfactory standard of accommodation for future occupiers. The proposed houses would exceed Merton's and London plan space standards. The layout of the houses shows that each room is capable of accommodating furniture and fittings in a satisfactory manner. Whilst it is noted that the bedrooms in the basements would have limited outlook and light, they do not form the main bedroom accommodation and are likely to be guest or additional ancillary accommodation. All the other habitable rooms have good levels of outlook, light and circulation areas. The houses would have direct access to a private rear amenity space well in excess of the Council's minimum standard of 50 square metres.

7.7 Neighbouring Amenity

5 Lambourne Avenue

7.7.1 The proposed house would be inset 1.1m from the boundary with this neighbour. The proposed houses would not project beyond the front elevation of no.5 and would be no further forward than the existing house. At the rear, the nearest element of no.5 is a single storey side addition which accommodates a garage and utility room, separating the main house at no.5 from the side boundary. The proposed rear building line of the houses would align with the ground floor rearward projection of the main part of the neighbouring house (2m beyond the upper floors), which

is situated beyond the single storey side garage. There would be a separation distance of 4.2m between the flank wall of the proposal and this neighbour's main flank wall (main part of house). Given the relative siting and good level of separation between neighbours it is considered that there would be no undue loss of amenity.

- 7.7.2 In order to ensure that there is no overlooking from the side windows and flat roof section of the proposed houses, obscured glazing and no use of the flat roofs can be secured via suitable planning conditions.

9 Lambourne Avenue

- 7.7.4 This neighbour site is orientated at a right angle to the application site and sits directly at the end of the garden of the application site. The proposed houses would be distanced approximately 25m from this neighbouring property. Upper floor windows looking towards the rear garden area would be over 16m away. Given the orientation of the neighbouring property and level of separation it is considered that there would be no undue loss of amenity. A new semi-mature tree will be planted adjacent to the boundary with no.9 and additional planting can be required adjacent to the boundary to soften views of the rear elevations.

7.8 Parking and Traffic

- 7.8.1 The site is in a controlled parking zone (P2(s)) with controls operating between Monday to Friday between 11am-3pm. The proposals show a double width hardstanding for each property, providing each house with 2 off street spaces. This level of parking provision is in line with the London Plan car parking standards.
- 7.8.2 The driveway/crossover for the northernmost property is positioned close to the corner of the road however traffic movements will be low in this cul de sac location and the positioning is therefore considered to be acceptable.
- 7.8.3 The proposal would result in the loss of 2 on street parking bays and will add to visitor demand. Although the provision of 4 off street parking bays will offset some of this impact, it is recommended that the development is permit free. Although this is unusual for a property in a PTAL 1b area it is recommended that this is required to mitigate against the reduced on street parking availability.

7.9 Trees

- 7.9.1 The applicant has submitted an arboricultural report which the Councils Tree Officer has confirmed is acceptable. The Councils Tree Officer has

confirmed that she has no objection to the application subject to conditions relating to tree protection, site supervision and detail of landscaping.

8. Affordable Housing

8.1.1 Planning policy CS8 (Housing Choice) of Merton's Core Planning Strategy states that the Council will seek provision of an affordable housing equivalent to that provided on-site as a financial contribution on sites where there is a net increase of between 1-9 units. The site originally contains a single family dwelling house, therefore there is a net increase of 1 unit for the purposes of the affordable housing contribution. The required affordable housing contribution in this instance would be £277,438.

9. Local Financial Considerations

9.1 The proposed development is liable to pay the Merton and Mayoral Community Infrastructure Levy (CIL), the funds for which will be applied by the Mayor towards the Crossrail project. Merton's Community Infrastructure Levy was implemented on 1st April 2014. This will enable the Council to raise, and pool, contributions from developers to help pay for things such as transport, decentralised energy, healthcare, schools, leisure and public open spaces - local infrastructure that is necessary to support new development. Merton's CIL has replaced Section 106 agreements as the principal means by which pooled developer contributions towards providing the necessary infrastructure should be collected.

10. **SUSTAINABILITY AND ENVIRONMENTAL IMPACT ASSESSMENT REQUIREMENTS**

10.1.1 The proposal is for minor residential development and an Environmental Impact Assessment is not required in this instance.

11.1.2 The application does not constitute Schedule 1 or Schedule 2 development. Accordingly, there are no requirements in terms on EIA submission.

11. **CONCLUSION**

11.1.1 The proposed development will provide 2 new family dwellings which are considered to satisfactorily relate to the context of the Lambourne Avenue street scene and would conserve the character of this part of the Wimbledon North Conservation Area. The standard of residential accommodation proposed is considered to meet the needs of future occupiers, with an appropriate level of amenity space and room sizes with

good levels of outlook and light. There would be no undue impact upon neighbouring amenity, trees, traffic or highway conditions. The proposal is in accordance with Adopted Sites and Policies Plan, Core Planning Strategy and London Plan policies. The proposal is therefore recommended for approval subject to conditions and S106 agreement.

RECOMMENDATION

GRANT PLANNING PERMISSION

Subject to the completion of a Section 106 Agreement covering the following heads of terms:-

1. That the developer makes a financial contribution towards Affordable housing (£277,438).
2. Designation of the development as permit-free and that on-street parking permits would not be issued for future residents of the proposed development.
3. The developer agreeing to meet the Councils costs of preparing, drafting and monitoring the Section 106 Obligations.

And the following conditions:

1. A.1 Commencement of Development
2. A7 Approved Plans
3. B1 Materials to be approved
4. B4 Details of Surface Treatment
5. B5 Details of boundary treatment
6. C01 No Permitted Development (Extensions)
7. C02 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no window, dormer, rooflight or door other than those expressly authorised by this permission shall be constructed in the upper levels of the flank elevations without planning permission first obtained from the Local Planning Authority.

8. C03 Before the development hereby permitted is first occupied, the upper floor windows in the South-West elevation shall be glazed with obscure glass and fixed shut and shall permanently maintained as such thereafter.

Reason: To safeguard the amenities and privacy of the occupiers of adjoining properties and to comply with the following Development Plan policies for Merton: policy 7.6 of the London Plan 2015, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.

9. C07 Refuse and Recycling (Implementation)
10. C08 No Use of Flat Roof
11. D11 Construction Times
12. F01 Landscaping/Planting Scheme
13. F02 Landscaping (Implementation)
14. F05 The details and measures for the protection of the existing retained trees as contained in the approved document 'Arboricultural Method Statement Implications Assessment & Tree Protection Report' dated 15th July 2015 shall be fully complied with. The approved methods for the protection of the existing retained trees shall follow the sequence of events as detailed in the document and as shown on the drawing titled 'Tree Protection Plan' and numbered '907/03' and shall be retained and maintained until the completion of all site operations.

Reason: To protect and safeguard the existing trees in accordance with the following Development Plan policies for Merton: policy 7.21 of the London Plan 2015, policy CS13 of Merton's Core Planning Strategy 2011 and policies DM D2 and 02 of Merton's Sites and Policies Plan 2014

15. F08 Site Supervision (Trees)
16. H07 Cycle Parking to be implemented
17. L2 No part of the development hereby approved shall be occupied until evidence has been submitted to the council confirming that the

development has achieved not less than the CO2 reductions (ENE1), internal water usage (WAT1) standards equivalent to Code for Sustainable Homes level 4. Evidence requirements are detailed in the "Schedule of evidence Required for Post Construction Stage from Ene1 & Wat1 of the Code for Sustainable Homes Technical Guide. Evidence to demonstrate a 25% reduction compared to 2010 part L regulations and internal water usage rates of 105l/p/day must be submitted to, and acknowledged in writing by the Local Planning Authority, unless otherwise agreed in writing.

To ensure that the development achieves a high standard of sustainability and makes efficient use of resources and to comply with the following Development Plan policies for Merton: policy 5.2 of the London Plan 2011 and policy CS15 of Merton's Core Planning Strategy 2011.

18. L3 No part of the development hereby approved shall be occupied until evidence has been submitted to the council confirming that the development has achieved not less than the CO2 reductions (ENE1), internal water usage (WAT1) standards equivalent to Code for Sustainable Homes level 4. Evidence requirements are detailed in the "Schedule of evidence Required for Post Construction Stage from Ene1 & Wat1 of the Code for Sustainable Homes Technical Guide. Evidence to demonstrate a 25% reduction compared to 2010 part L regulations and internal water usage rates of 105l/p/day must be submitted to, and acknowledged in writing by the Local Planning Authority, unless otherwise agreed in writing.

To ensure that the development achieves a high standard of sustainability and makes efficient use of resources and to comply with the following Development Plan policies for Merton: policy 5.2 of the London Plan 2011 and policy CS15 of Merton's Core Planning Strategy 2011.

- 19 No development approved by this permission shall be commenced until a scheme for the provision of surface water drainage has been implemented in accordance with details that have been submitted to and approved in writing by the local planning authority. Before these details are submitted an assessment shall be carried out of the potential for disposing of surface water by means of a sustainable drainage system (SuDS) to ground, watercourse or sewer in accordance with drainage hierarchy contained within the London Plan Policy 5.13, Merton's Policy DM F2 and the advice contained within the National SuDS Standards. Where a sustainable drainage scheme is to be provided, the submitted details shall:

- i. provide information about the design storm period and intensity, the method employed to delay and control the rate of surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
 - ii. include a timetable for its implementation;
 - iii. include a CCTV survey of the existing surface water connection to the main sewer and site wide drainage network to establish its condition is appropriate.
- and
- iii. provide a drainage management and maintenance plan for the lifetime of the development.

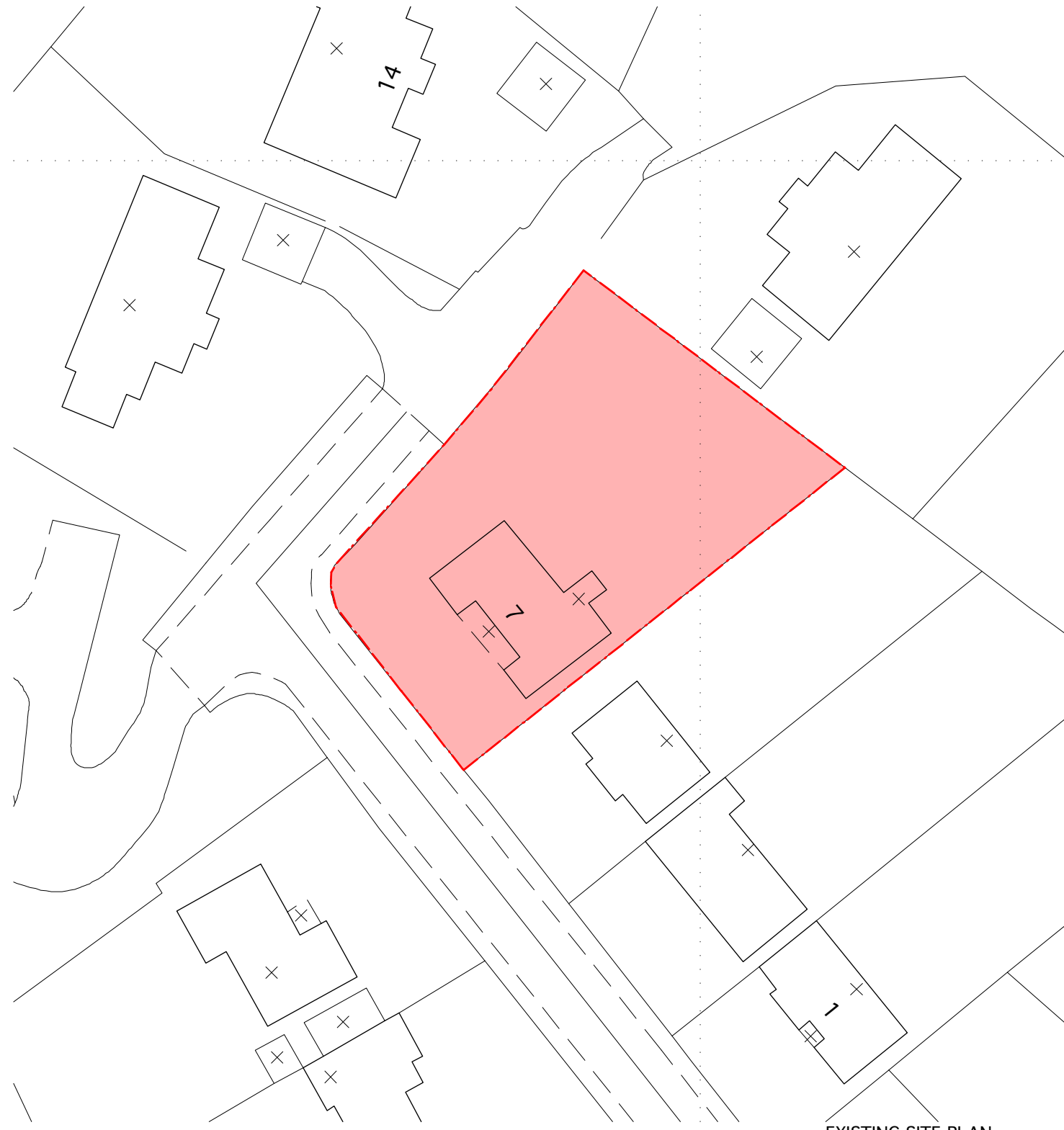
Reason: To ensure satisfactory means of surface water drainage, to reduce the risk of flooding and to comply with the following Development Plan policies for Merton: policy 5.13 of the London Plan 2011, policy CS16 of Merton's Core Planning Strategy 2011 and policy DM F2 of Merton's Sites and Polices Plan 2014.

20 Development carried out in accordance with the CMS

INFORMATIVES:

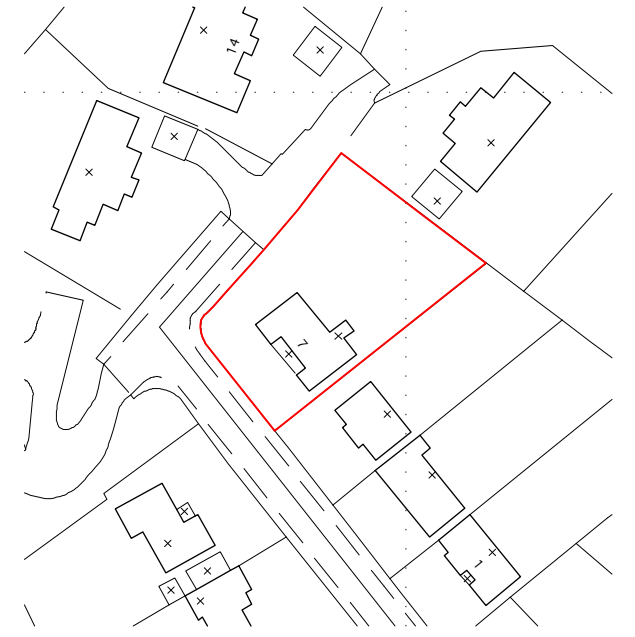
1. *It is the responsibility of the developer to make proper provision for drainage to ground, watercourses or a suitable sewer. In respect of surface water it is recommended that the applicant should ensure that storm flows are attenuated or regulated into the receiving public network through on or off-site storage. When it is proposed to connect to a combined public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Connections are not permitted for the removal of ground water. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required (contact no. 0845 850 2777).*
2. *You are advised to contact the Council's Highways team on 020 8545 3700 before undertaking any works within the Public Highway to obtain the necessary approvals and/or licences. Please be advised that there is a further charge for this work. If your application falls within a Controlled Parking Zone this has further costs involved and can delay the application by 6 to 12 months.*

This page is intentionally left blank



© Crown Copyright 2007. All rights reserved. Licence number 100020449

EXISTING SITE PLAN
(scale 1:500)

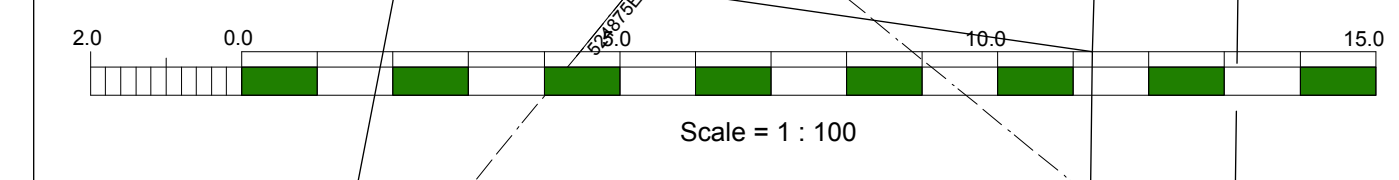


LOCATION PLAN
(scale 1:1250)

REV	DATE
REVISIONS	
DRAWINGS NOT TO BE SCALED, FIGURED DIMENSIONS ONLY DRAWINGS NOT TO BE USED FOR LAND TRANSFER PURPOSES DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT DRAWINGS AND SPECIFICATIONS	
© FAITHFULL ARCHITECTS	
	
+44 (0)20 8767 8888	
CLIENT	The Cherwell Group
PROJECT	7 Lambourne Ave, SW19
DRAWING TITLE	
Location Plan.	
SCALE	DATE
1:500 @A3 1:1250 @A3	June 2015
DRAWN	DRAWING No.
CHECKED	907/01
	REV

ALL LEVELS ARE IN METRES DERIVED FROM GPS TRANSFORMATION OSGM02
 THE CO-ORDINATES ARE DERIVED FROM THE ORDNANCE SURVEY ACTIVE STATION NETWORK DSTN02 (BASE STATION ST01)
 ALL TREE HEIGHTS AND SPREADS ARE APPROXIMATE
 WE HAVE TRIED TO IDENTIFY TREE TYPES, HOWEVER IF TREE SPECIES ARE CRITICAL SPECIALIST ADVICE SHOULD BE GAINED.
 DRAINAGE PIPE SIZES HAVE BEEN MEASURED FROM THE SURFACE, CHAMBER ACCESS HAS NOT BEEN GAINED FOR SAFETY REASONS- THEREFORE SIZES SHOULD BE REGARDED AS APPROXIMATE

bed level
 cover level
 invert level
 threshold level
 unable to lift
 water level



LAMBOURNE AVENUE

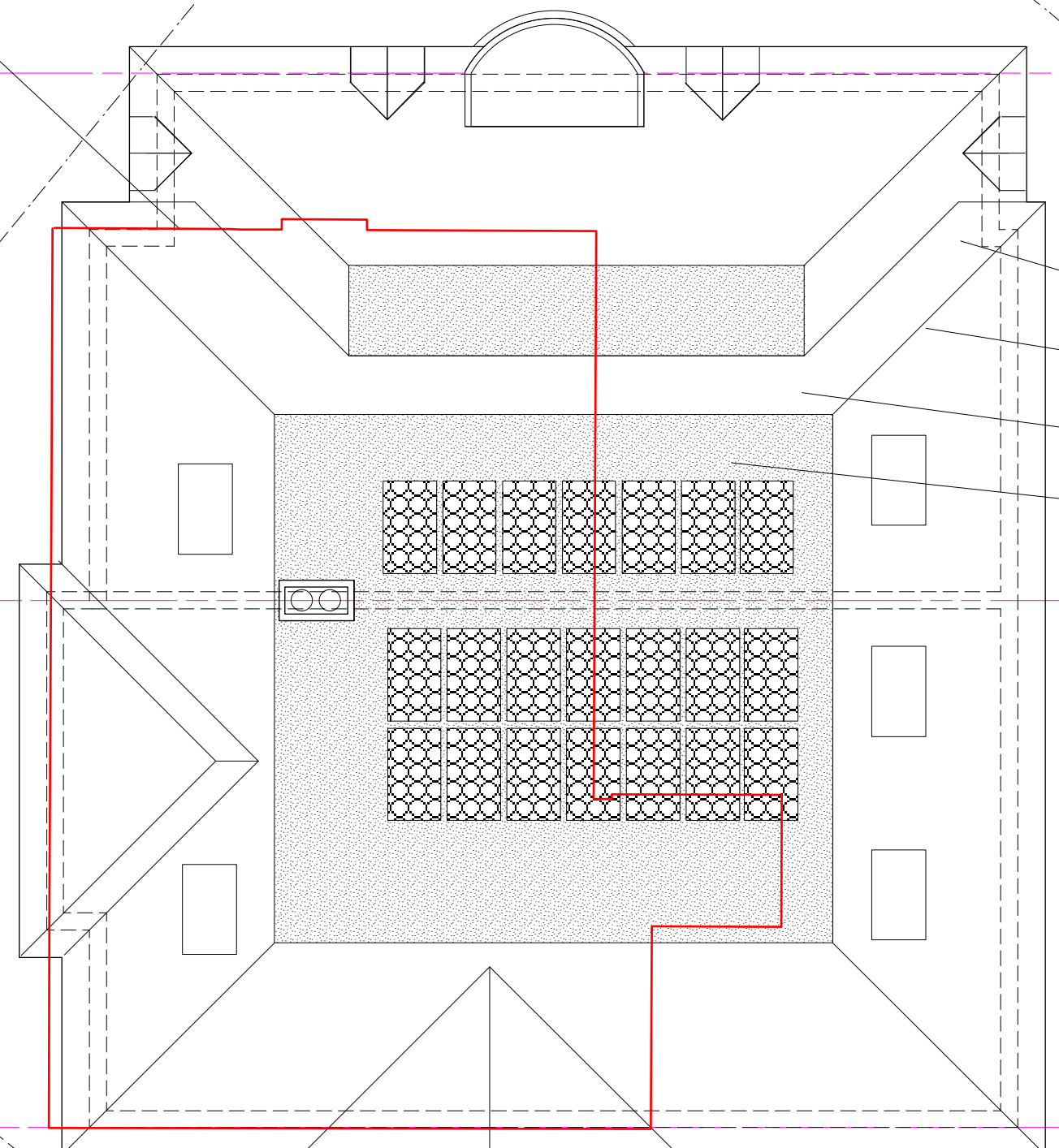
8592

Outline of footprint of existing building.

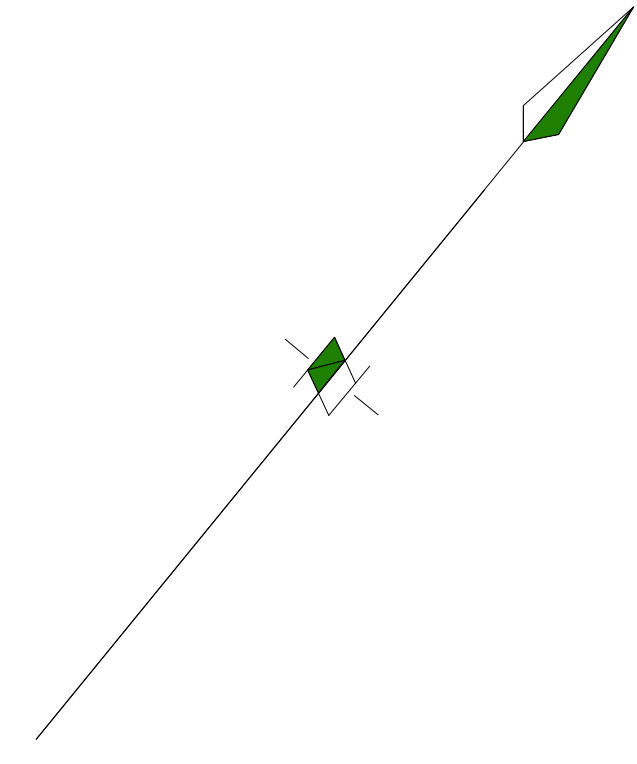
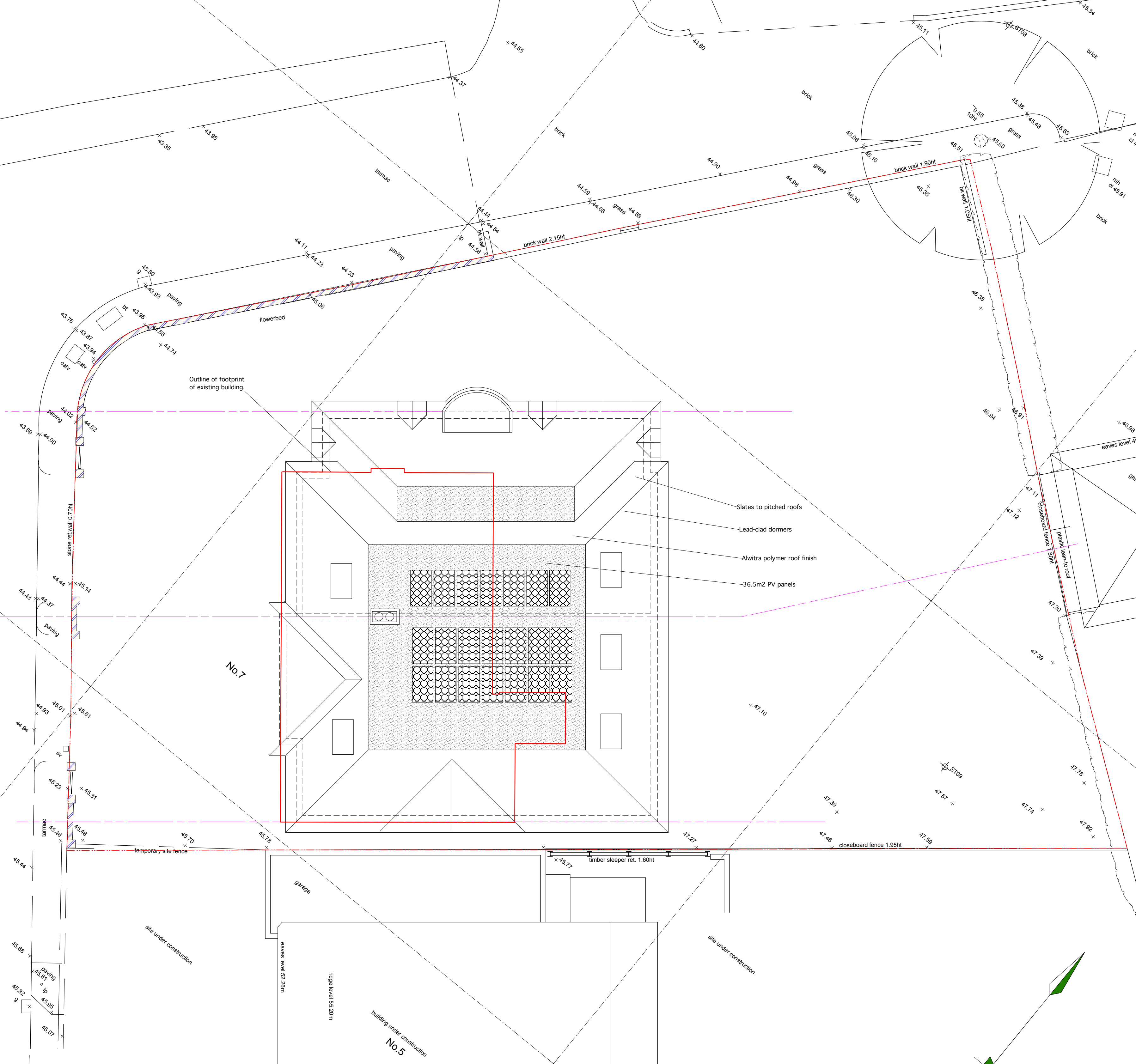
No.7

No.5

No.9

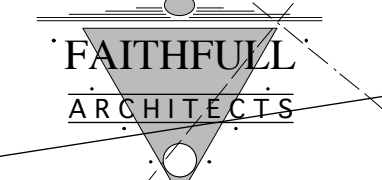


- Slates to pitched roofs
- Lead-clad dormers
- Alwitra polymer roof finish
- 36.5m2 PV panels



REV	DATE	DESCRIPTION
B	Apr 16	Outline of existing added
A	Feb 16	Scheme revised

REVISIONS
 DRAWINGS NOT TO BE SCALED, FIGURED DIMENSIONS ONLY
 DRAWINGS NOT TO BE USED FOR LAND TRANSFER PURPOSES
 DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT
 DRAWINGS AND SPECIFICATIONS
 © FAITHFULL ARCHITECTS



+44 (0)1223 894778

CLIENT The Cherwell Group

PROJECT 7 Lambourne Ave, SW19

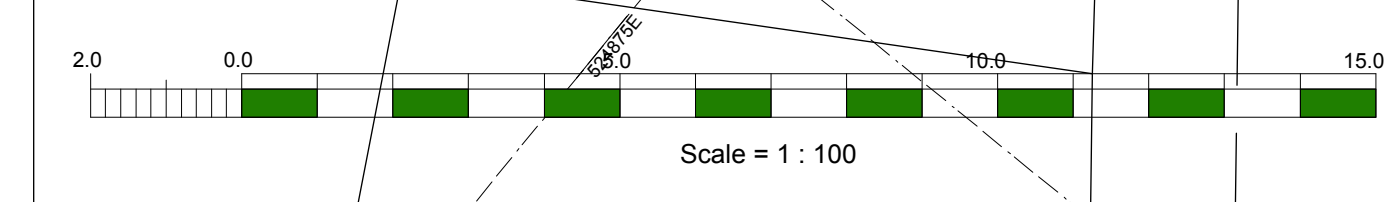
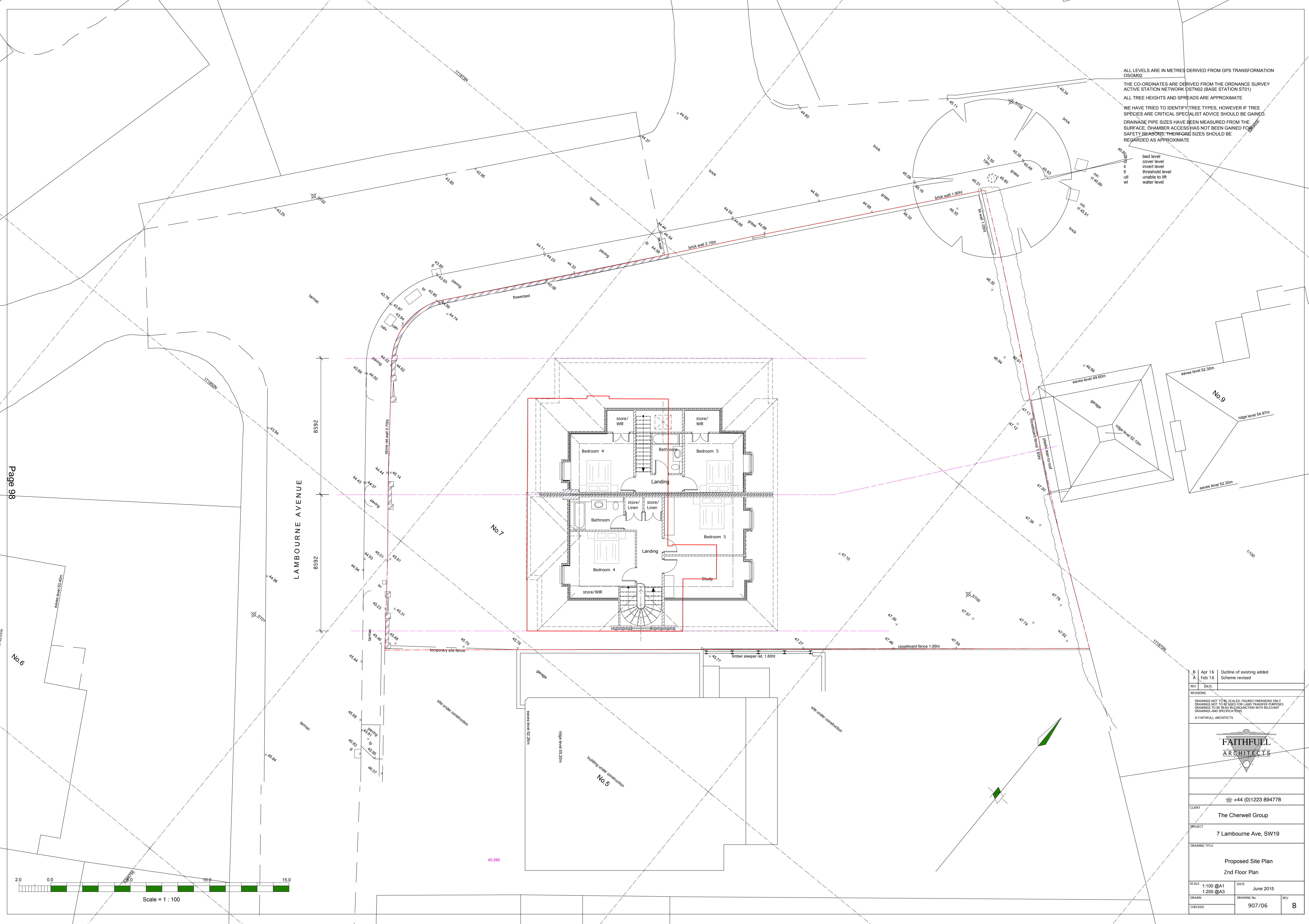
DRAWING TITLE
 Proposed Site Plan
 Roof Plan

SCALE 1:100 @A1 DATE June 2015
 1:200 @A3

DRAWN DRAWING No. 907/07
 CHECKED REV B

ALL LEVELS ARE IN METRES DERIVED FROM GPS TRANSFORMATION OSGM02
 THE CO-ORDINATES ARE DERIVED FROM THE ORDNANCE SURVEY ACTIVE STATION NETWORK DSTN02 (BASE STATION ST01)
 ALL TREE HEIGHTS AND SPREADS ARE APPROXIMATE
 WE HAVE TRIED TO IDENTIFY TREE TYPES, HOWEVER IF TREE SPECIES ARE CRITICAL SPECIALIST ADVICE SHOULD BE GAINED.
 DRAINAGE PIPE SIZES HAVE BEEN MEASURED FROM THE SURFACE, CHAMBER ACCESS HAS NOT BEEN GAINED FOR SAFETY REASONS- THEREFORE SIZES SHOULD BE REGARDED AS APPROXIMATE

bed level
 cover level
 invert level
 threshold level
 unable to lift
 water level



REV	DATE	DESCRIPTION
B	Apr 16	Outline of existing added
A	Feb 16	Scheme revised

REVISIONS

DRAWINGS NOT TO BE SCALED, FIGURED DIMENSIONS ONLY
 DRAWINGS NOT TO BE USED FOR LAND TRANSFER PURPOSES
 DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT
 DRAWINGS AND SPECIFICATIONS

© FAITHFULL ARCHITECTS

FAITHFULL ARCHITECTS

+44 (0)1223 894778

CLIENT: The Cherwell Group

PROJECT: 7 Lambourne Ave, SW19

DRAWING TITLE: Proposed Site Plan
2nd Floor Plan

SCALE: 1:100 @A1
1:200 @A3

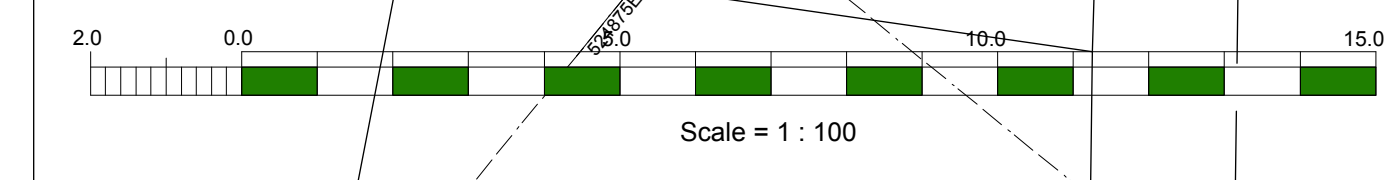
DATE: June 2015

DRAWN: DRAWING No. 907/06

CHECKED: REV B

ALL LEVELS ARE IN METRES DERIVED FROM GPS TRANSFORMATION OSGM02
 THE CO-ORDINATES ARE DERIVED FROM THE ORDNANCE SURVEY ACTIVE STATION NETWORK DSTN02 (BASE STATION ST01)
 ALL TREE HEIGHTS AND SPREADS ARE APPROXIMATE
 WE HAVE TRIED TO IDENTIFY TREE TYPES, HOWEVER IF TREE SPECIES ARE CRITICAL SPECIALIST ADVICE SHOULD BE GAINED.
 DRAINAGE PIPE SIZES HAVE BEEN MEASURED FROM THE SURFACE, CHAMBER ACCESS HAS NOT BEEN GAINED FOR SAFETY REASONS- THEREFORE SIZES SHOULD BE REGARDED AS APPROXIMATE

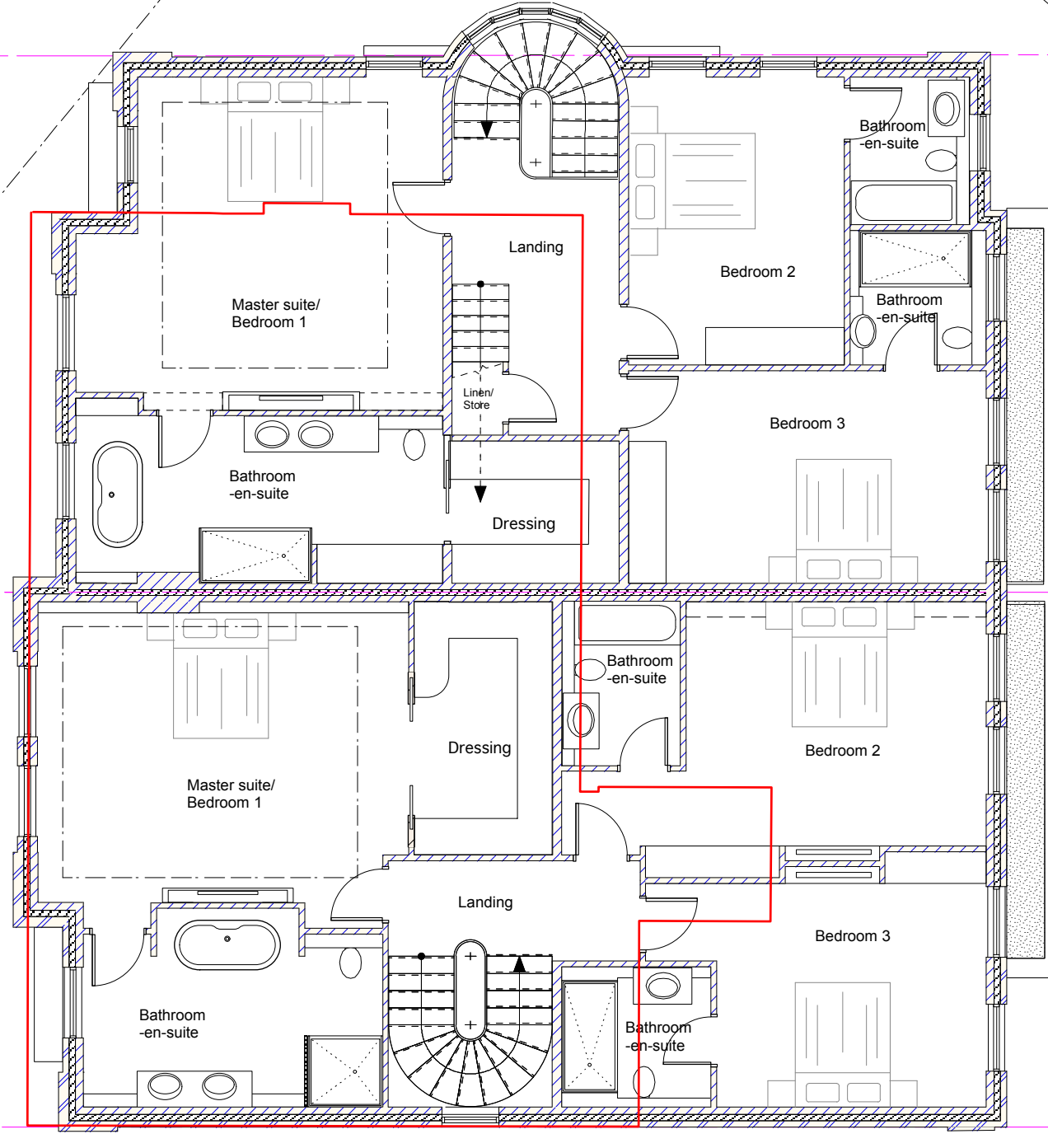
bed level
 cover level
 invert level
 threshold level
 unable to lift
 water level



LAMBOURNE AVENUE

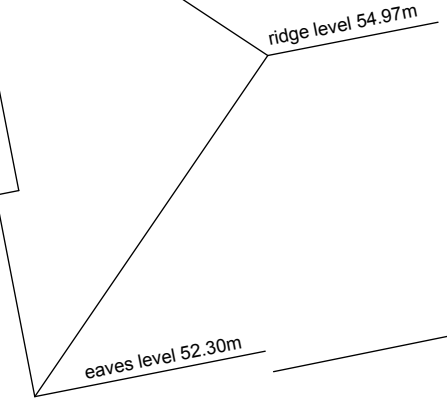
8592

No.7



No.5

No.9



B	Apr 16	Outline of existing added
A	Feb 16	Scheme revised
REV	DATE	DESCRIPTION

REVISIONS
 DRAWINGS NOT TO BE SCALED, FIGURED DIMENSIONS ONLY
 DRAWINGS NOT TO BE USED FOR LAND TRANSFER PURPOSES
 DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT
 DRAWINGS AND SPECIFICATIONS



+44 (0)1223 894778

CLIENT The Cherwell Group

PROJECT 7 Lambourne Ave, SW19

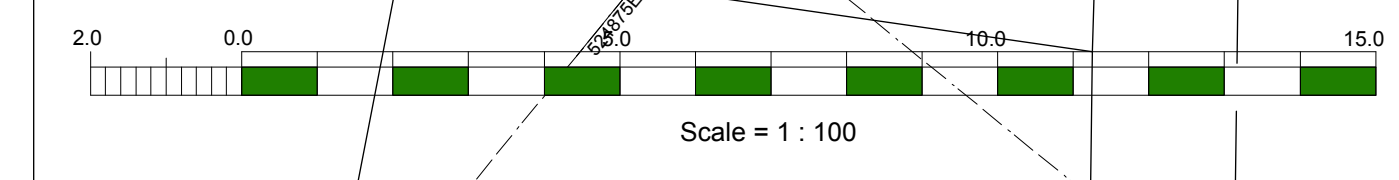
DRAWING TITLE
 Proposed Site Plan
 1st Floor Plan

SCALE 1:100 @A1 DATE June 2015
 1:200 @A3

DRAWN DRAWING No. 907/05
 CHECKED REV B

ALL LEVELS ARE IN METRES DERIVED FROM GPS TRANSFORMATION OSGM02
 THE CO-ORDINATES ARE DERIVED FROM THE ORDNANCE SURVEY ACTIVE STATION NETWORK DSTN02 (BASE STATION ST01)
 ALL TREE HEIGHTS AND SPREADS ARE APPROXIMATE
 WE HAVE TRIED TO IDENTIFY TREE TYPES, HOWEVER IF TREE SPECIES ARE CRITICAL SPECIALIST ADVICE SHOULD BE GAINED.
 DRAINAGE PIPE SIZES HAVE BEEN MEASURED FROM THE SURFACE, CHAMBER ACCESS HAS NOT BEEN GAINED FOR SAFETY REASONS- THEREFORE SIZES SHOULD BE REGARDED AS APPROXIMATE

bed level
 cover level
 invert level
 threshold level
 ti
 ut
 wl



LAMBOURNE AVENUE

CPZ: 2no. Parking spaces removed

New semi-mature native trees planted

No.7

No.5

No.9

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

garage

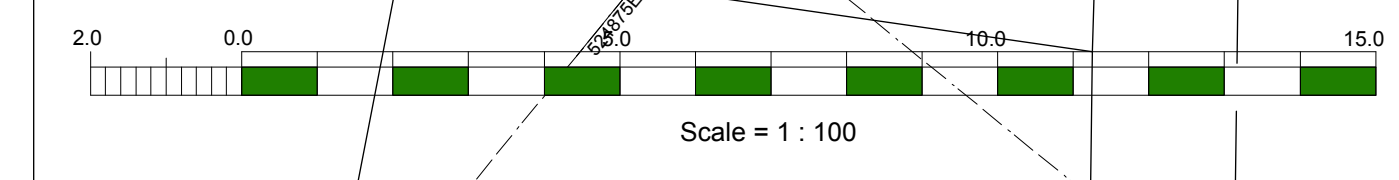
garage

garage

garage

ALL LEVELS ARE IN METRES DERIVED FROM GPS TRANSFORMATION OSGM02
 THE CO-ORDINATES ARE DERIVED FROM THE ORDNANCE SURVEY ACTIVE STATION NETWORK DSTN02 (BASE STATION ST01)
 ALL TREE HEIGHTS AND SPREADS ARE APPROXIMATE
 WE HAVE TRIED TO IDENTIFY TREE TYPES, HOWEVER IF TREE SPECIES ARE CRITICAL SPECIALIST ADVICE SHOULD BE GAINED.
 DRAINAGE PIPE SIZES HAVE BEEN MEASURED FROM THE SURFACE, CHAMBER ACCESS HAS NOT BEEN GAINED FOR SAFETY REASONS- THEREFORE SIZES SHOULD BE REGARDED AS APPROXIMATE

bed level
 cover level
 invert level
 threshold level
 unable to lift
 water level

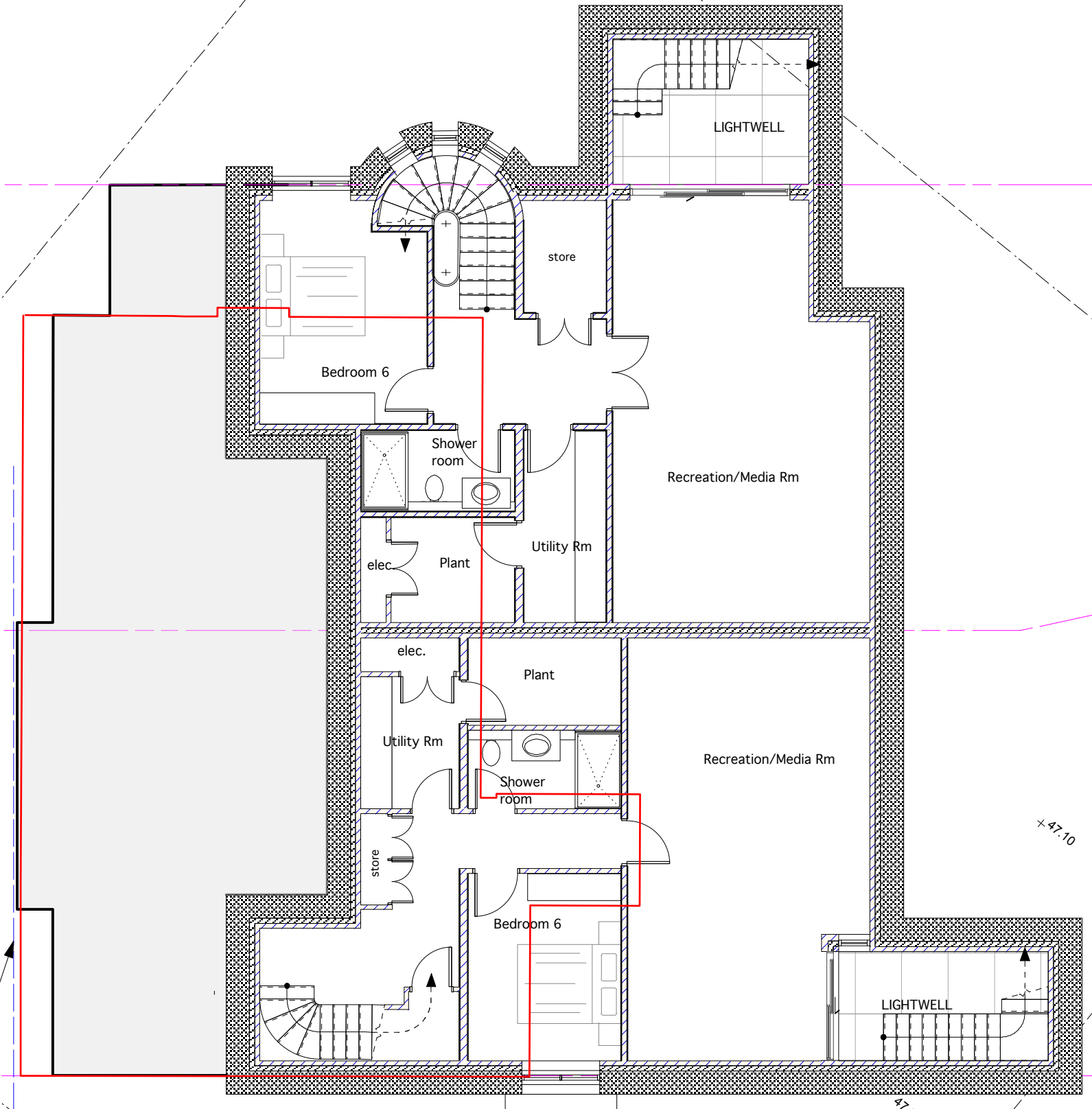


LAMBOURNE AVENUE

8592

No.7

No.9

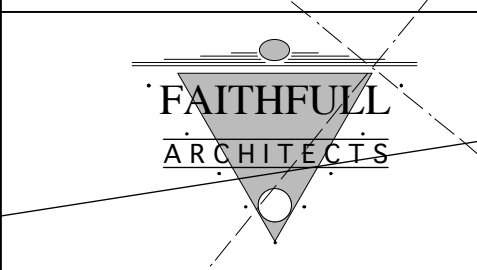


New building at no7 set out in line with adjoining house at no5

No.5

REV	DATE	DESCRIPTION
B	Apr 16	Outline of existing added
A	Feb 16	Scheme revised

REVISIONS
 DRAWINGS NOT TO BE SCALED, FIGURED DIMENSIONS ONLY
 DRAWINGS NOT TO BE USED FOR LAND TRANSFER PURPOSES
 DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT DRAWINGS AND SPECIFICATIONS



+44 (0)1223 894778

CLIENT The Cherwell Group

PROJECT 7 Lambourne Ave, SW19

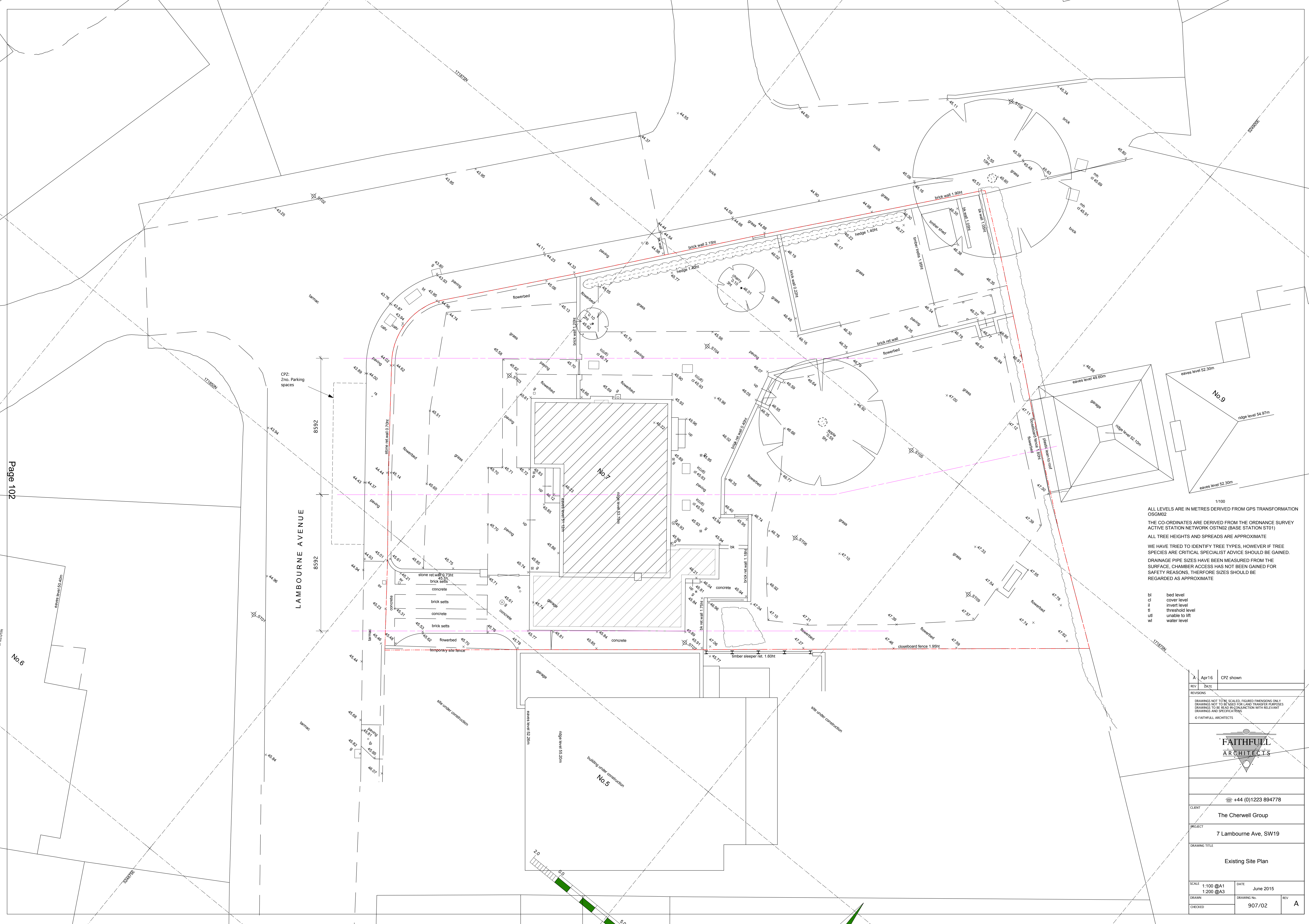
DRAWING TITLE Proposed Site Plan

Basement Plan

SCALE 1:100 @A1 DATE June 2015

1:200 @A3 DRAWN DRAWING No.

CHECKED 907/03 REV B

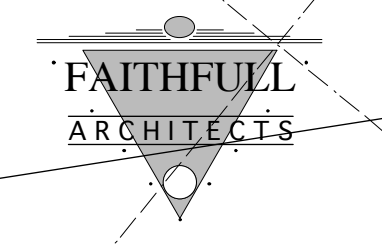


1/100
 ALL LEVELS ARE IN METRES DERIVED FROM GPS TRANSFORMATION OSGM02
 THE CO-ORDINATES ARE DERIVED FROM THE ORDNANCE SURVEY ACTIVE STATION NETWORK OSTN02 (BASE STATION ST01)
 ALL TREE HEIGHTS AND SPREADS ARE APPROXIMATE
 WE HAVE TRIED TO IDENTIFY TREE TYPES, HOWEVER IF TREE SPECIES ARE CRITICAL SPECIALIST ADVICE SHOULD BE GAINED.
 DRAINAGE PIPE SIZES HAVE BEEN MEASURED FROM THE SURFACE, CHAMBER ACCESS HAS NOT BEEN GAINED FOR SAFETY REASONS, THEREFORE SIZES SHOULD BE REGARDED AS APPROXIMATE

- bl bed level
- cl cover level
- il invert level
- tl threshold level
- util unable to lift
- wl water level

REV	DATE	CPZ shown
A	Apr16	

REVISIONS
 DRAWINGS NOT TO BE SCALED, FIGURED DIMENSIONS ONLY
 DRAWINGS NOT TO BE USED FOR LAND TRANSFER PURPOSES
 DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT DRAWINGS AND SPECIFICATIONS
 © FAITHFULL ARCHITECTS



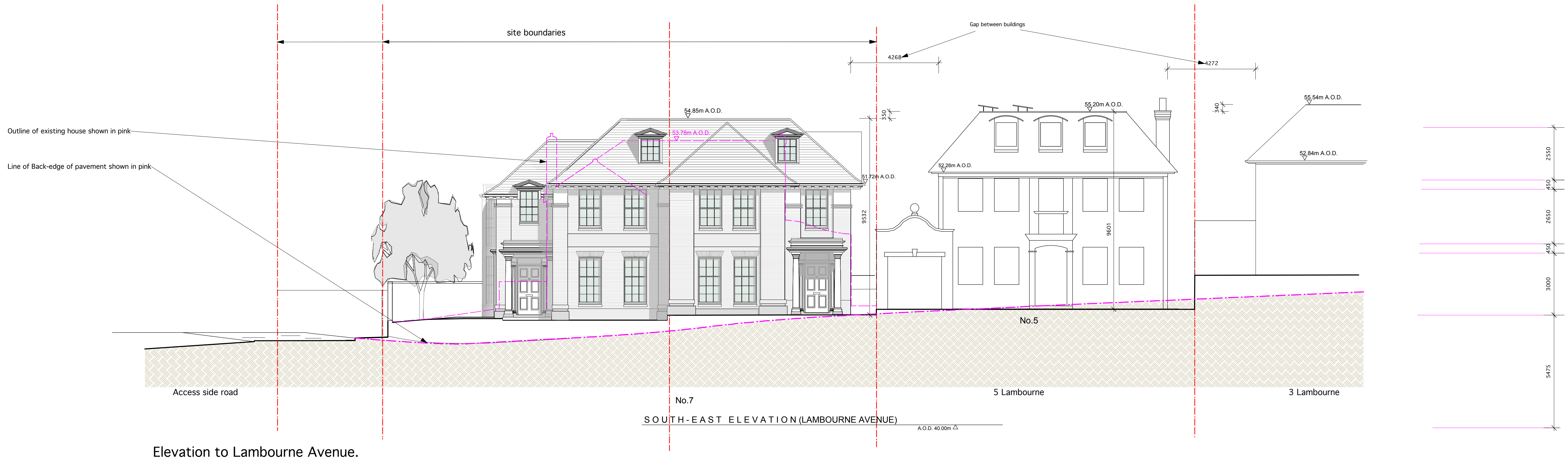
+44 (0)1223 894778

CLIENT The Cherwell Group

PROJECT 7 Lambourne Ave, SW19

DRAWING TITLE Existing Site Plan

SCALE	1:100 @A1 1:200 @A3	DATE	June 2015
DRAWN		DRAWING No.	907/02
CHECKED		REV	A



Elevation to Lambourne Avenue.

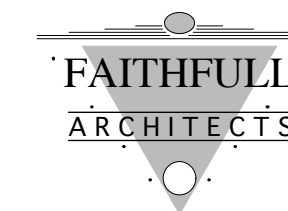


Elevation to side of Lambourne Avenue.

REV	DATE	DESCRIPTION
D	Apr 16	Outline of existing added
C	Feb 16	Scheme revised
B	Nov 15	Levels revised
A	Sept 15	Levels added and outline of road and existing shown

REVISIONS
 DRAWINGS NOT TO BE SCALED, FIGURED DIMENSIONS ONLY
 DRAWINGS NOT TO BE USED FOR LAND TRANSFER PURPOSES
 DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT
 DRAWINGS AND SPECIFICATIONS

© FAITHFULL ARCHITECTS



+44 (0)1223 894778

CLIENT The Cherwell Group

PROJECT 7 Lambourne Ave, SW19

DRAWING TITLE

Proposed Elevations (South-East & North-West)

SCALE 1:100 @A1 DATE June 2015

DRAWN 1:200 @A3 DRAWING No. 907/11 REV D

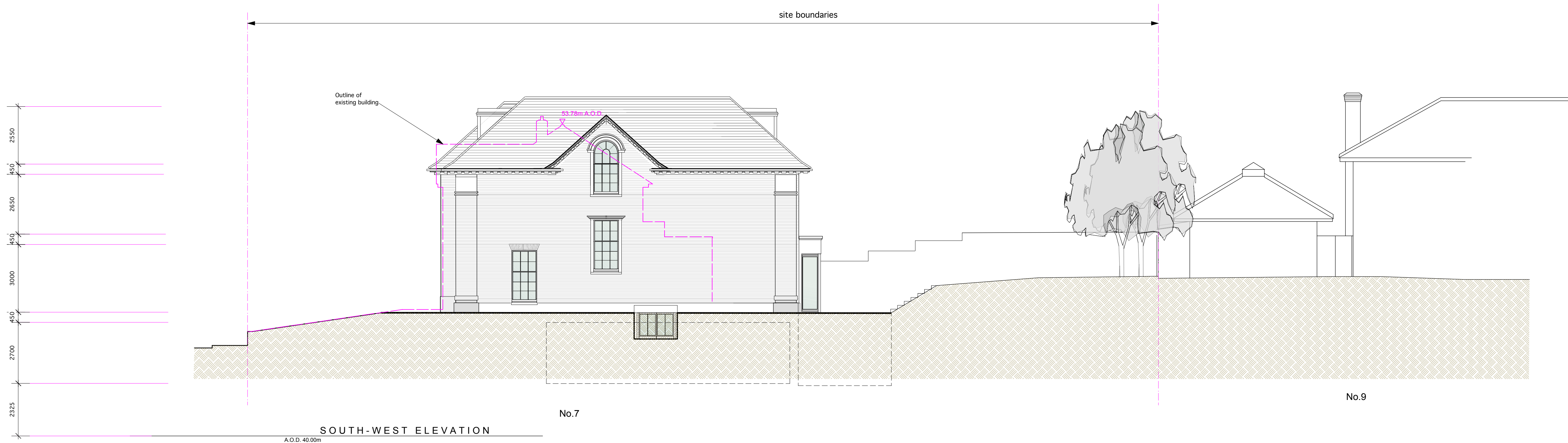
CHECKED

Materials:

- Roof: Single-ply Polymer-membrane to flat roofs, with "Rivendale" fibre-cement slates to pitched roofs with lead-clad dormers and porch canopy.
- Walls: Part multi-stock brickwork and part reconstructed stone cornice etc., with reconstituted stone cills, copings and details.
- Windows: Munford Wood conservation double hung sash.
- Patio Doors: Powder-coated Al. sliding-folding doors with double-glazed sealed glazing units to rear areas.
- Front doors: Stained hardwood timber doors and frames.
- Finish to driveway: Resin-bonded gravel.
- Balustrading: Frameless SS on structural glazing system



NORTH-EAST ELEVATION (REAR) A.O.D. 40.00m



SOUTH-WEST ELEVATION A.O.D. 40.00m

REV	DATE	DESCRIPTION
B	Apr 16	Outline of existing added
A	Feb 16	Scheme revised
REVISIONS		
DRAWINGS NOT TO BE SCALED, FIGURED DIMENSIONS ONLY		
DRAWINGS NOT TO BE USED FOR LAND TRANSFER PURPOSES		
DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT		
DRAWINGS AND SPECIFICATIONS		
© FAITHFULL ARCHITECTS		
		
+44 (0)1223 894778		
CLIENT	The Cherwell Group	
PROJECT	7 Lambourne Ave, SW19	
DRAWING TITLE	Proposed Elevations (North-East & South-West)	
SCALE	1:100 @A1 1:200 @A3	DATE June 2015
DRAWN	DRAWING No.	REV
CHECKED	907/10	B



CGI Street view looking down
Lambourne Avenue



CGI Street view looking up
Lambourne Avenue

PLANNING APPLICATIONS COMMITTEE
21st April, 2016

Item No:

UPRN

APPLICATION NO.

DATE VALID

15/P3224

11/12/2015

Address/Site:

16 Leamington Avenue, Morden

Ward:

Cannon Hill

Proposal:

Conversion of existing dwelling house into 2 flats including erection of new side porch

Drawing No.'s:

Site Location Plan, 'P15 Rev B Proposed Block Plan', 'P01 Rev B Proposed Ground Floor', 'P02 Rev F Proposed First Floor Plan', 'P03 Rev D Proposed Loft Plan', 'P04 Rev B Proposed Section B-B', 'P05 Rev A Proposed Side Elevation', 'P06 Rev A Proposed Rear Elevation' & 'P07 Rev A Proposed Front Elevation'.

Contact Officer:

Felicity Cox (020 8545 3119)

RECOMMENDATION

Grant planning permission subject to Section 106 Obligation & Conditions

CHECKLIST INFORMATION

- Is a screening opinion required: No
- Is an Environmental Statement required: No
- Has an Environmental Statement been submitted: No
- Press notice: No
- Site notice: Yes
- Design Review Panel consulted: No
- Number of neighbours consulted: 9
- External consultations: 0
- Controlled Parking Zone: No

1. INTRODUCTION

- 1.1 This application is being brought to the Planning Applications Committee due to the level of public interest in the proposal.

2. SITE AND SURROUNDINGS

- 2.1 The application site is a semi-detached, two storey dwelling house which is located on the southern side of Leamington Avenue. A shared access drive is located adjacent to the western (side) and southern (rear) boundaries of the site.
- 2.2 At the time of the site visit, construction of a hip to gable and rear roof extension was being completed under permitted development rights (Lawful Development Certificate LBM Reference: 15/P1129) in addition to a single storey rear extension measuring 5 metres in depth, issued under Prior Approval Reference: 15/P0362 (Prior Approval Not Required).
- 2.3 The application site is not in a conservation area nor located in a controlled parking zone and has a PTAL rating of 2 (poor).
- 2.4 The immediately surrounding area predominately features family dwellinghouses, in a combination of semi-detached and terrace housing.

3. CURRENT PROPOSAL

- 3.1 The current proposal is to convert the existing four bedroom, single family dwelling house into 1 x 3 bedroom and 1 x 2 bedroom flats.
- 3.2 The ground floor flat would consist of 2 bedrooms with 4 bed spaces, and would have a Gross Internal Floor Area of 75 square metres. The flat would have direct access via the living room to the private amenity space at the rear of the property, of which 111 square metres of garden space has been allocated to the flat. A new raised patio 250mm high is proposed to extend 3.5m from the rear wall of the flat. Refuse/recycling stores and cycle storage for two bicycles has been shown within the private garden. Access to the flat will be via the existing front door and porch, with a new ramp proposed to facilitate disabled access.
- 3.3 The upper storey flat will be located within the first floor and loft of the dwelling house. The flat will consist of 3 bedrooms on the first floor and will have a Gross Internal Floor Area of 99 square metres. A Living/Kitchen/Dining area is proposed within the recently constructed loft conversion.
- 3.4 The upper storey flat will have direct access from the street via a new side door and porch. A private garden with an area of 111 square metres has been shown on the site plan for the upper storey flat at the rear of the existing garden, and refuse/recycling and bicycle stores are proposed within this garden. The proposal will also retain the existing single garage at the rear of the site for car parking for the upper storey flat.
- 3.6 The original plans submitted proposed that access to the rear garden area from Flat 1 be obtained via the shared access drive. Amended plans were provided to provide a side access passage within the site for residents of the upper flat to have safe access to the allocated garden area.

4. PLANNING HISTORY

4.1 The planning history of the site is as follows:

15/P0362 – Prior Approval in relation to the erection of a single storey rear extension 5 metres deep, maximum 4 metres high and 3 metres to eaves – Prior Approval Not Required

15/P1129 – Application for a Lawful Development Certificate for the proposed hip to gable and rear roof extension and the installation of 3 x rooflights to the front roofslope – Issue Certificate of Lawfulness

5. CONSULTATION

5.1 9 neighbouring properties were consulted by letters and a site notice was displayed.

5.2 Five representations were received from local residents raising concerns relating to:

- Increased parking pressure in street
- Surrounding character of area is single dwelling houses, not flats
- Conversion to flats would be detrimental to the residential amenity and 'single family dwelling house' character of the area
- Approval of flats would set a precedent for flat conversions and lead to loss of reasonably sized family homes
- Difficulty in ensuring adherence to building regulations
- Additional pressure on existing services
- Noise from additional residents
- Existing floor area is less than 120m² and room sizes do not meet minimum standards contrary to requirements of 5.1.3 of the SPG: Residential Extensions, Alterations and Conversions (2001). (Nov 2001)
- Parking in front amenity area would have negative visual impact on streetscene

5.3 Re-consultation following receipt of amended plans. Three further objections were received (all three objectors had also submitted a representation in the original consultation period). The additional reasons raised in these objections related to:

- Erection of an appropriate fence and storage facilities is required to eliminate any future problems with the shared driveway
- Inaccurate description of character of surrounding area in design and access statement, referring to presence of flats
- Rear garage not suitable for parking due to narrow access

5.4 Councillors:

Councillor Tobin Byers – Cllr Byers requested further details of the application, however has stated no views on the application.

6. POLICY CONTEXT

6.1 NPPF - National Planning Policy Framework (2012):
Part 6 Delivering a wide choice of high quality homes.
Part 7 Requiring Good Design.

6.2 London Plan Consolidated (2015).
3.3 Increasing housing supply;
3.4 Optimising housing potential;
3.5 Quality and design of housing developments.
5.3 Sustainable design and construction.
6.9 Cycling
7.4 Local character
7.6 Architecture

London Housing Supplementary Planning Guidance 2012

6.3 Merton Sites and Policies Plan (July 2014).
DM D2 Design considerations in all developments
DM D3 Alterations and extensions to existing buildings

6.4 Merton Core Strategy (2011).
CS 8 Housing choice;
CS 9 Housing provision;
CS 14 Design;
CS 15 Climate change
CS 18 Active transport
CS 20 Parking, servicing and delivery

7. PLANNING CONSIDERATIONS

7.1 The main planning considerations include assessing the principle of development in terms of the loss of the existing accommodation, the need for additional housing and housing mix, design and appearance of the proposed building extensions, the standard of the residential accommodation; the impact on residential amenity and impact on car parking and traffic generation.

Principle of Development

7.2 Core Planning Strategy policy CS9 encourages the development of additional dwellings within residential areas in order to meet the London Plan target of 42,000 additional homes per year from 2015-2036 (Merton - 411 per year). Policy 3.3 of the London Plan states that Local Development Frameworks should seek to identify new sources of land for new residential development including intensification of housing provision through development at higher densities where this is suitable.

7.3 Merton's LDF Core Strategy policy CS14 requires re-provision of at least one family-sized unit where a proposed development would result in the loss of an existing family sized unit. The current proposal will result in the creation of one three-bedroom family sized unit (5 persons), in addition to one two-bedroom

flat (4 persons). As such, the proposal would not result in the loss of an existing family sized unit and is consistent with Merton's LDF Core Strategy Policy CS14.

- 7.4 The current proposal would help provide a mix of dwelling types within the local area and would make a modest contribution to housing targets whilst retaining the dominant housing type as single family dwellings. Thus, the principle of the use of the property as flats is considered acceptable.

Character and Appearance

- 7.5 London Plan policies 7.4 and 7.6, Core Strategy policy CS14 and SPP Policies DMD2 and DMD3 require well designed proposals that will respect the appearance, materials, scale, bulk, proportions and character of the original building and their surroundings.

- 7.6 The proposed single storey side porch will be unenclosed and is modest in scale. The porch matches the style of the front porch and is not considered to be overbearing on the host dwelling or detrimental to the streetscene. The addition of the front ramp and rear low-set decking will not make a substantial visual impact on the building. It is therefore considered that the proposal will not harm the character and appearance of the area in accordance with the above policies.

- 7.7 Residents have objected to the paving of the front garden area to allow for car parking. It is noted that a high proportion of dwellings in the street have a paved front garden area for car parking. However, the application proposes to retain the existing landscaped garden space and will therefore not alter the character of the street.

Neighbouring Amenity

- 7.8 SPP policy DMD2 states that proposals must be designed to ensure that they would not have an undue negative impact upon the amenity of neighbouring properties in terms of loss of light, quality of living conditions, privacy, visual intrusion or noise.

- 7.9 The new flats will be accommodated within the existing dwellinghouse and therefore the proposal is not considered to give rise to issues of loss of light or visual intrusion.

- 7.10 As there is a shared access drive separating the property from 18 Leamington Avenue and the properties to the rear of the site (fronting Woodland Way), the proposal is not considered to compromise the amenity of these properties.

- 7.11 The bedroom within the loft is proposed to be converted to the living area of the new upper storey flat. It is not considered that this change would result in substantially greater overlooking into the adjoining property at 14 Leamington Avenue, and hence the adjoining dwelling will maintain an acceptable degree of privacy.

- 7.12 The use of the dwelling would remain residential and it is not considered the proposal would result in an undue impact upon the living conditions of

neighbouring properties by reason of noise intrusion. Separate legislation (Building Regulations) would ensure appropriate insulation to noise between the new units.

Standard of residential accommodation

- 7.13 Policy DM D2 and DM D3 of the Site and Policies Plan states that all proposals for residential development should safeguard the residential amenities of future occupiers in terms of providing adequate internal space, a safe layout and access for all users; and provision of adequate amenity space to serve the needs of occupants. Policies CS 8, CS9 and CS14 within the Council's Adopted Core Strategy [2011] states that the Council will require proposals for new homes to be well designed.
- 7.14 Policy 3.5 of the London Plan 2015 states that housing developments should be of the highest quality internally and externally and should ensure that new development reflects the minimum internal space standards (specified as Gross Internal Areas) as set out in Table 3.3 of the London Plan (Amended March 2016).
- 7.15 The proposed two bedroom, four person flat on ground level will have a gross internal floor area of 75 square metres. This exceeds the London Plan minimum requirement of 70 square metres. The upper storey 3 bedroom, 5 person flat will have a gross internal floor area of 99 square metres, which will also exceed the London Plan minimum requirements of 93 square metres.
- 7.16 The proposed floor areas for all double bedrooms exceeds the London Plan requirement of 12 square metres, and the proposed single room within the upper flat also meets the London Plan requirement of 8 square metres. The living/kitchen/dining areas of each unit also exceed the London Plan requirements of 27 square metres for a 4 person flat, and 29 square metres for a 5 person flat. It is considered that all rooms will have reasonable outlook and access to daylight.
- 7.17 SPP policy DMD2 and London Plan Housing Standards requires that for all new flats, the Council will seek a minimum of 5 square metres of private outdoor space for 1-2 person flat dwellings and an extra 1 square metre for each additional occupant. Both flats will be provided with safe and convenient access to a private garden amenity space of 111 square metres.
- 7.18 It is considered that the proposed flats would provide a satisfactory standard of accommodation in accordance with the above policy requirements.

Transport and parking

- 7.19 Core Strategy policy CS20 requires that development would not adversely affect pedestrian or cycle movements, safety, the convenience of local residents, on street parking or traffic management.
- 7.20 Sites and Policies Policy DM T3 states that development should only provide the level of car parking required to serve the site taking into account its accessibility by public transport (PTAL) and local circumstances in

accordance with London Plan standards unless a clear need can be demonstrated.

- 7.21 The site is PTAL 2 and outside of a parking control zone.
- 7.22 The upper storey flat will have one off-street car parking space in the form of the existing garage at the rear of the site, which is currently used for car parking. No off-street parking is proposed for the ground level flat.
- 7.23 The current 'maximum' car parking standards are set out within the London Plan Standard 3.3.1 (amended March 2016) at Table 6.2 and require a 'maximum' of 1.5 spaces for three bedroom properties and less than 1 space per two bedroom unit. It is considered that the provision of one space for the larger flat and no off-street parking for the ground level flat would not give rise to additional parking pressure such that neighbour amenity would be harmed or that would warrant withholding permission.

Refuse storage and collection

- 7.24 Policy CS20 of the Core Strategy [July 2011] states that the Council will seek to implement effective traffic management by requiring developers to incorporate adequate facilities for servicing to ensure loading and unloading activities do not have an adverse impact on the public highway.
- 7.25 The submitted plans show the provision of refuse stores within the private garden areas of the flats. This is considered to be unobtrusive and will facilitate safe refuse collection from the street in accordance with policy.

Cycle storage

- 7.26 Core Strategy Policy CS 18 and London Plan policy 6.9 call for proposals that will provide for cycle parking and storage. A new two or three bedroom flat would be expected to provide a store for at least 2 bicycles.
- 7.27 The proposed plans show each flat will be provided with a secure and accessible cycle store within the private garden areas of each flat, capable of accommodating up to 2 bicycles each. The proposal is therefore considered to be consistent with policy.

Developer Contributions and affordable housing

- 7.28 Policy CS.8 of the Merton LDF Core planning Strategy (2011) considers the Council's requirements for schemes of less than 10 units to contribute to the provision of affordable housing within the borough via off site financial contributions.
- 7.26 Based on open market values and using the Council's calculator it is estimated that the scheme could deliver an off-site affordable housing contribution of £27,966. The applicant has confirmed that they are willing to provide this contribution.

8. CONCLUSION

- 8.1 The proposed conversion of the existing house to provide two new dwellings would make a modest contribution to housing targets whilst retaining the a family sized dwelling on the site. The design of the flats meets minimum standards required for private amenity space, and Gross Internal Area and kitchen/living room sizes, and is considered to provide an acceptable standard of accommodation for future occupiers. The conversion is not considered to result in adverse amenity impacts on neighbours, and is therefore recommended for approval.

RECOMMENDATION

Grant permission subject to the completion of a Section 106 Agreement covering the following heads of term;

1. Financial contribution towards the provision of affordable housing in the borough (£27,966).
2. The developer agreeing to meet the Council's costs of preparing [including legal fees] the Section 106 Obligations [to be agreed].
3. The developer agreeing to meet the Council's costs of monitoring the Section 106 Obligations [to be agreed].

And subject to conditions.

Conditions

- 1) A1 Commencement of works
- 2) A7 Built according to plans; Site Location Plan, 'P15 Rev B Proposed Block Plan', 'P01 Rev B Proposed Ground Floor', 'P02 Rev F Proposed First Floor Plan', 'P03 Rev D Proposed Loft Plan', 'P04 Rev B Proposed Section B-B', 'P05 Rev A Proposed Side Elevation', 'P06 Rev A Proposed Rear Elevation' & 'P07 Rev A Proposed Front Elevation'.
- 3) B3 External materials as specified
- 4) C07 Refuse & Recycling (Implementation)
- 5) H07 Cycle parking to be implemented
- 6) Boundary fences –

No development shall take place until details of all boundary fences are submitted in writing for approval to the Local Planning Authority. No works which are the subject of this condition shall be carried out until the details are approved, and the development shall not be occupied / the use of the development hereby approved shall not commence until the details are approved and works to which this condition relates have been carried out in

accordance with the approved details. The fencing shall be permanently retained thereafter.

Reason: To ensure the garden is sub-divided to provide adequate amenity space for each unit in accordance with the following Development Plan policies for Merton: policies 7.5 and 7.6 of the London Plan 2015, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D1 and D2 of Merton's Sites and Policies Plan 2014.

7) NPPF Informative

This page is intentionally left blank

NORTHGATE SE GIS Print Template

Page 117



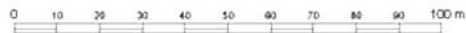
Text Details **16 Leamington Avenue**

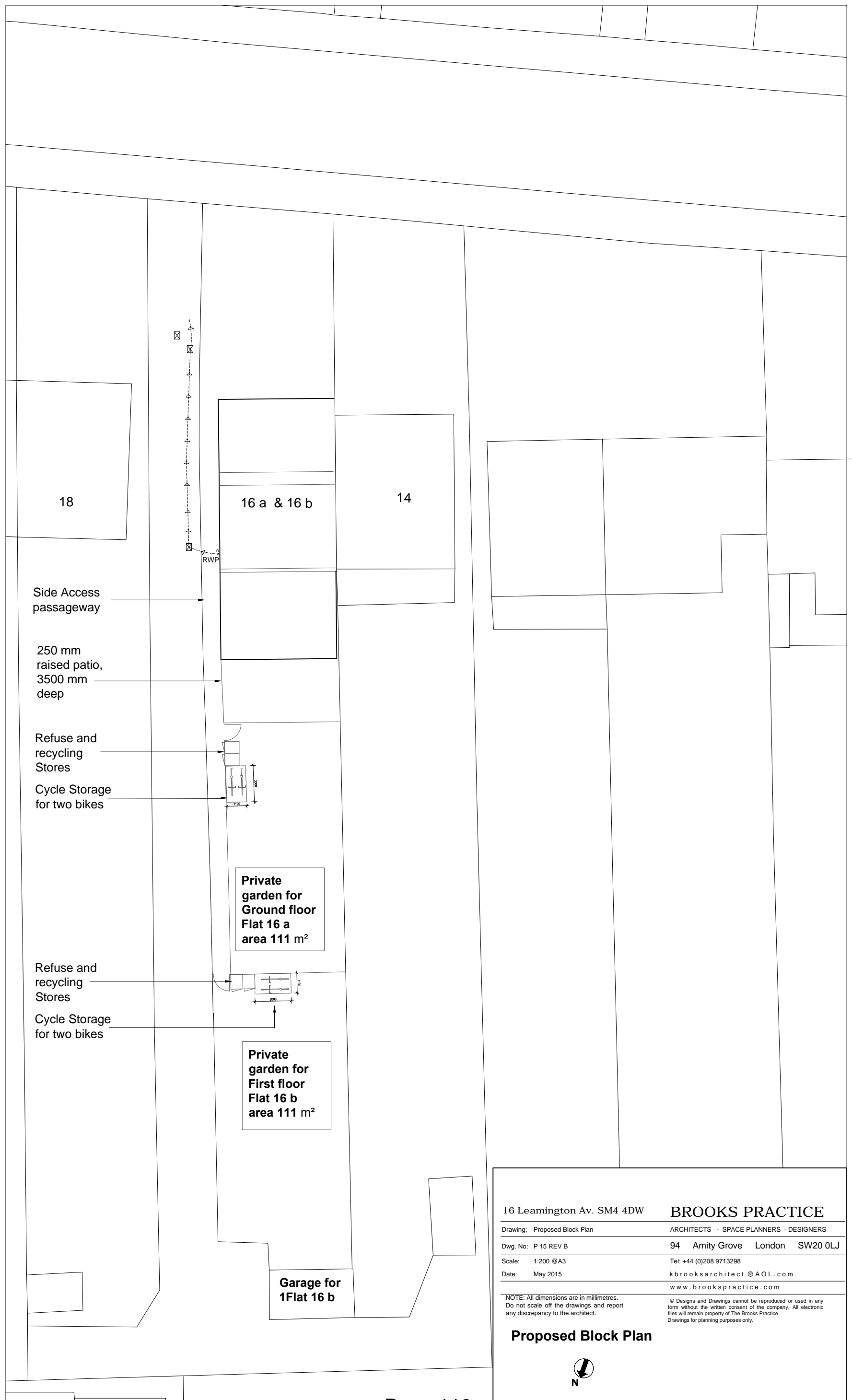
This material has been reproduced from Ordnance Survey digital map data with the permission of the controller of Her Majesty's Stationery Office, © Crown Copyright.

16 Leamington Avenue, SM4 4DW



Scale 1:1250



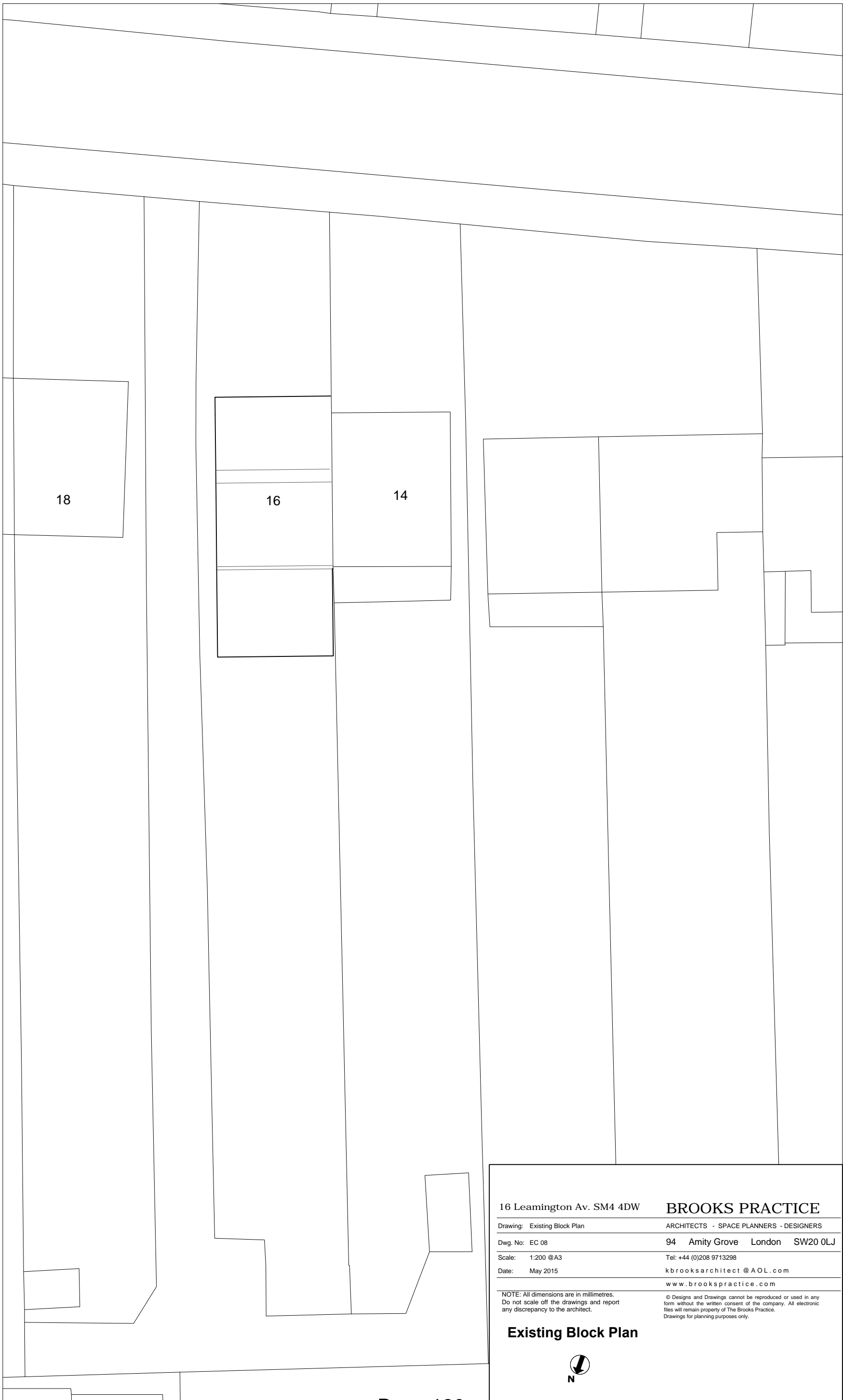


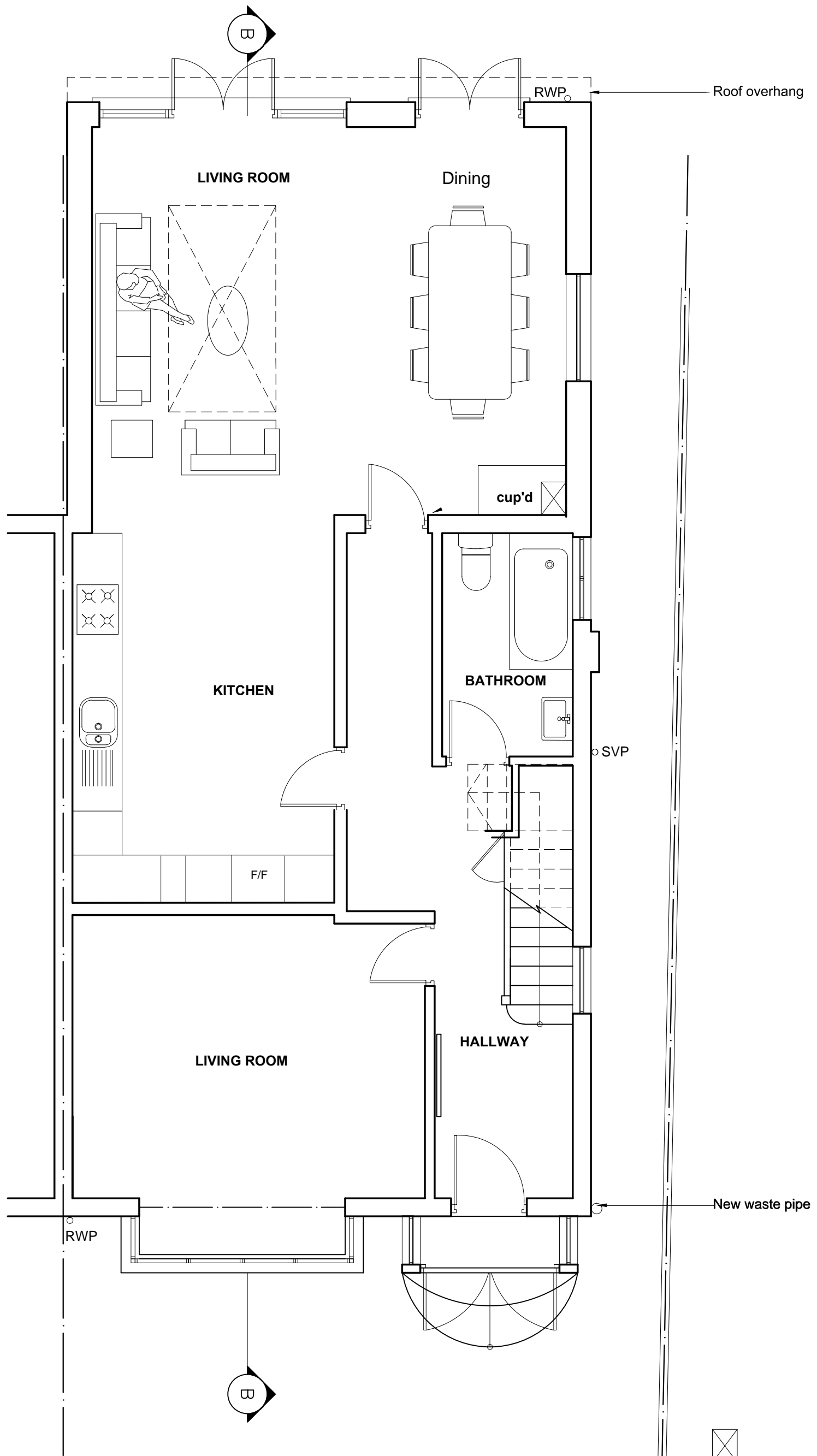
16 Leamington Av. SM4 4DW **BROOKS PRACTICE**
 ARCHITECTS - SPACE PLANNERS - DESIGNERS
 Drawing: Proposed Block Plan
 Dwg. No: P 15 REV B
 Scale: 1:200 @A3
 Date: May 2015
 94 Amity Grove London SW20 0LJ
 Tel: +44 (0)208 9713298
 kbrooksarchitect@AOL.com
 www.brookspractice.com

NOTE: All dimensions are in millimetres.
 Do not scale off the drawings and report any discrepancy to the architect.
 © Designs and Drawings cannot be reproduced or used in any form without the written consent of the company. All electronic files will remain property of The Brooks Practice. Drawings for planning purposes only.

Proposed Block Plan







EXISTING GROUND FLOOR PLAN

0 1m 2m



16 Leamington Av. SM4 4DW

Drawing: Existing Ground Floor plan

Dwg. No: EC 01

Scale: 1:50 @ A3

Date: June 2015

BROOKS PRACTICE

ARCHITECTS - SPACE PLANNERS - DESIGNERS

94 Amity Grove London SW20 0LJ

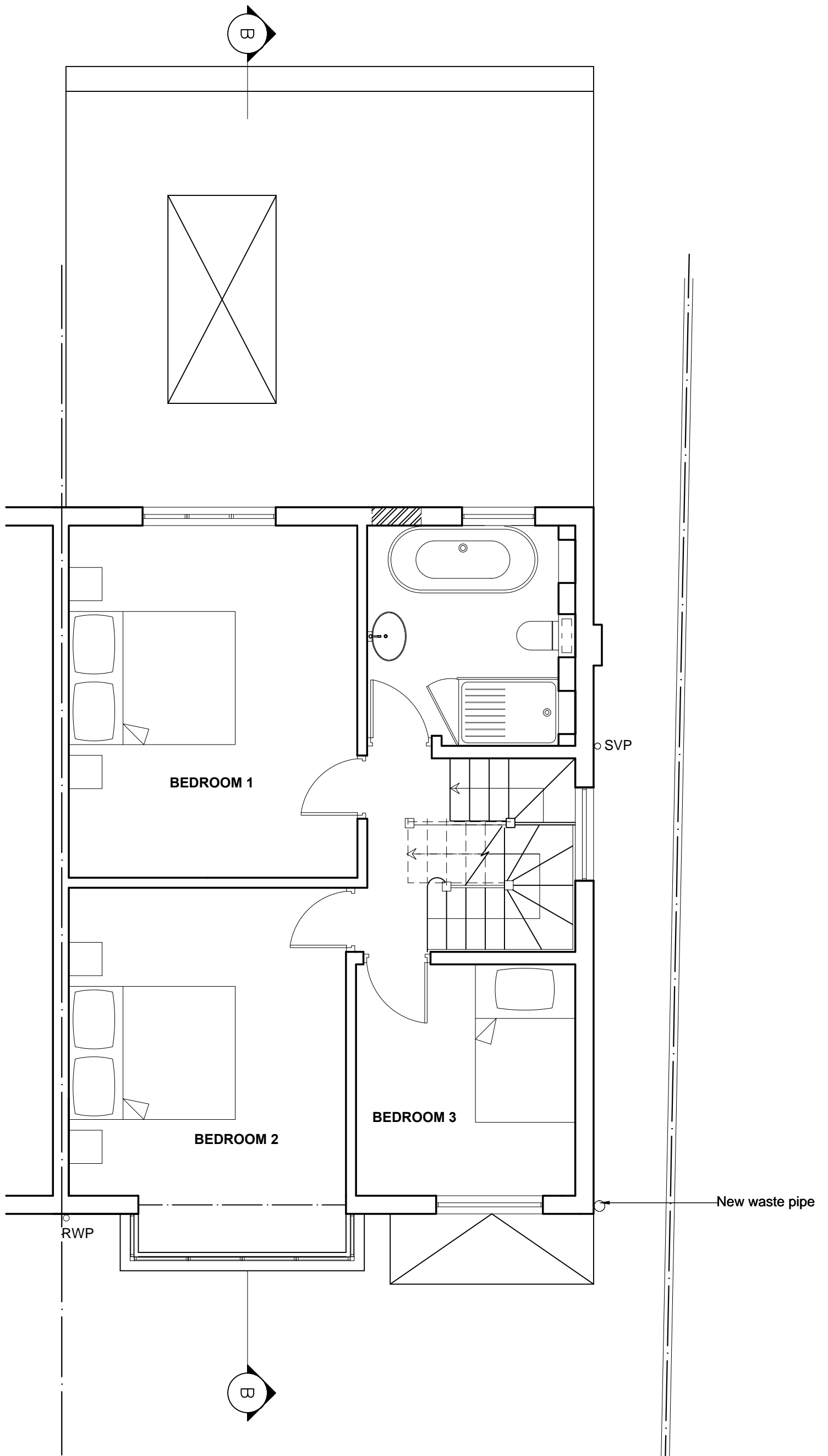
Tel: +44 (0)208 9713298

kbrooksarchitect @ AOL . com

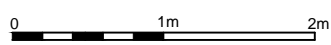
www . brookspractice . com

NOTE: All dimensions are in millimetres.
Do not scale off the drawings and report
any discrepancy to the architect.

© Designs and Drawings cannot be reproduced or used in any
form without the written consent of the company. All electronic
files will remain property of The Brooks Practice.
Drawings for planning purposes only.



EXISTING FIRST FLOOR PLAN

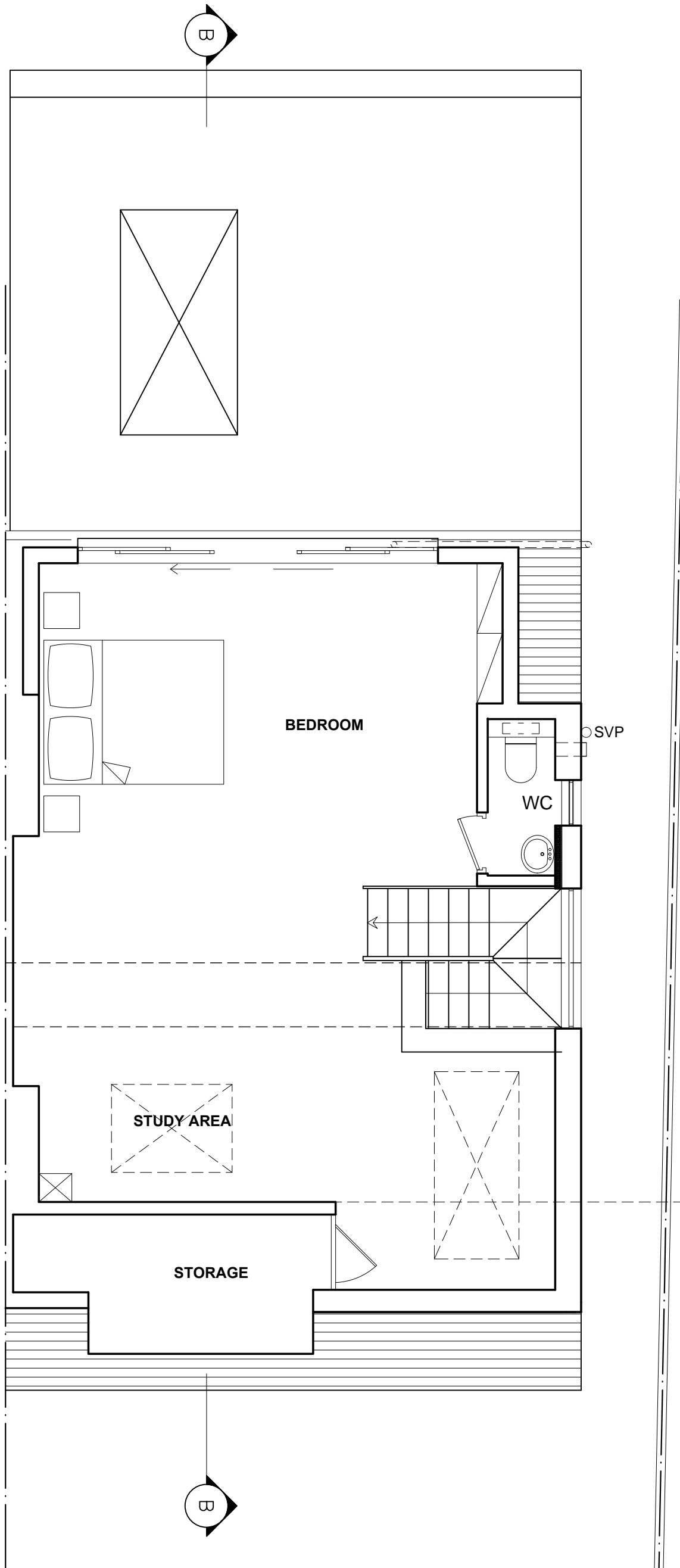


16 Leamington Av. SM4 4DW
 Drawing: Existing First Floor Plan
 Dwg. No: EC 02
 Scale: 1:50 @ A3
 Date: June 2015

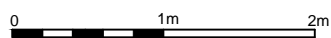
BROOKS PRACTICE
 ARCHITECTS - SPACE PLANNERS - DESIGNERS
 94 Amity Grove London SW20 0LJ
 Tel: +44 (0)208 9713298
 kbrooksarchitect @ AOL . com
 www . brookspractice . com

NOTE: All dimensions are in millimetres.
 Do not scale off the drawings and report any discrepancies to the architect.

© Designs and Drawings cannot be reproduced or used in any form without the written consent of the company. All electronic files will remain property of The Brooks Practice.
 Drawings for planning purposes only.



EXISTING LOFT PLAN



16 Leamington Av. SM4 4DW

BROOKS PRACTICE

Drawing: Existing Loft Plan

ARCHITECTS - SPACE PLANNERS - DESIGNERS

Dwg. No: EC 03

94 Amity Grove London SW20 0LJ

Scale: 1:50 @ A3

Tel: +44 (0)208 9713298

Date: June 2015

kbrooksarchitect@AOL.com

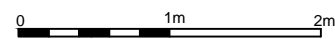
www.brookspractice.com

NOTE: All dimensions are in millimetres. Do not scale off the drawings and report any discrepancy to the architect.

© Designs and Drawings cannot be reproduced or used in any form without the written consent of the company. All electronic files will remain property of The Brooks Practice. Drawings for planning purposes only.



EXISTING FRONT ELEVATION



16 Leamington Av. SM4 4DW

BROOKS PRACTICE

Drawing: Existing Front Elevation

ARCHITECTS - SPACE PLANNERS - DESIGNERS

Dwg. No: EC 06

94 Amity Grove London SW20 0LJ

Scale: 1:50 @ A3

Tel: +44 (0)208 9713298

Date: June 2015

kbrooksarchitect @ AOL . com

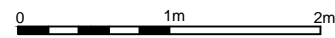
www . brookspractice . com

NOTE: All dimensions are in millimetres.
Do not scale off the drawings and report
any discrepancy to the architect.

© Designs and Drawings cannot be reproduced or used in any
form without the written consent of the company. All electronic
files will remain property of The Brooks Practice.
Drawings for planning purposes only.



EXISTING REAR ELEVATION



16 Leamington Av. SM4 4DW

Dwg. No: EC 05

Scale: 1:50 @ A3

Date: June 2015

NOTE: All dimensions are in millimetres. Do not scale off the drawings and report any discrepancy to the architect.

BROOKS PRACTICE

ARCHITECTS - SPACE PLANNERS - DESIGNERS

94 Amity Grove London SW20 0LJ

Tel: +44 (0)208 9713298

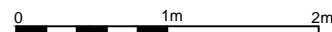
kbrooksarchitect @ AOL . com

www . brookspractice . com

© Designs and Drawings cannot be reproduced or used in any form without the written consent of the company. All electronic files will remain property of The Brooks Practice. Drawings for planning purposes only.



EXISTING SIDE ELEVATION



16 Leamington Av. SM4 4DW

Drawing: Proposed Side Elevation

Dwg. No: EC 04

Scale: 1:50 @ A3

Date: June 2015

BROOKS PRACTICE

ARCHITECTS - SPACE PLANNERS - DESIGNERS

94 Amity Grove London SW20 0LJ

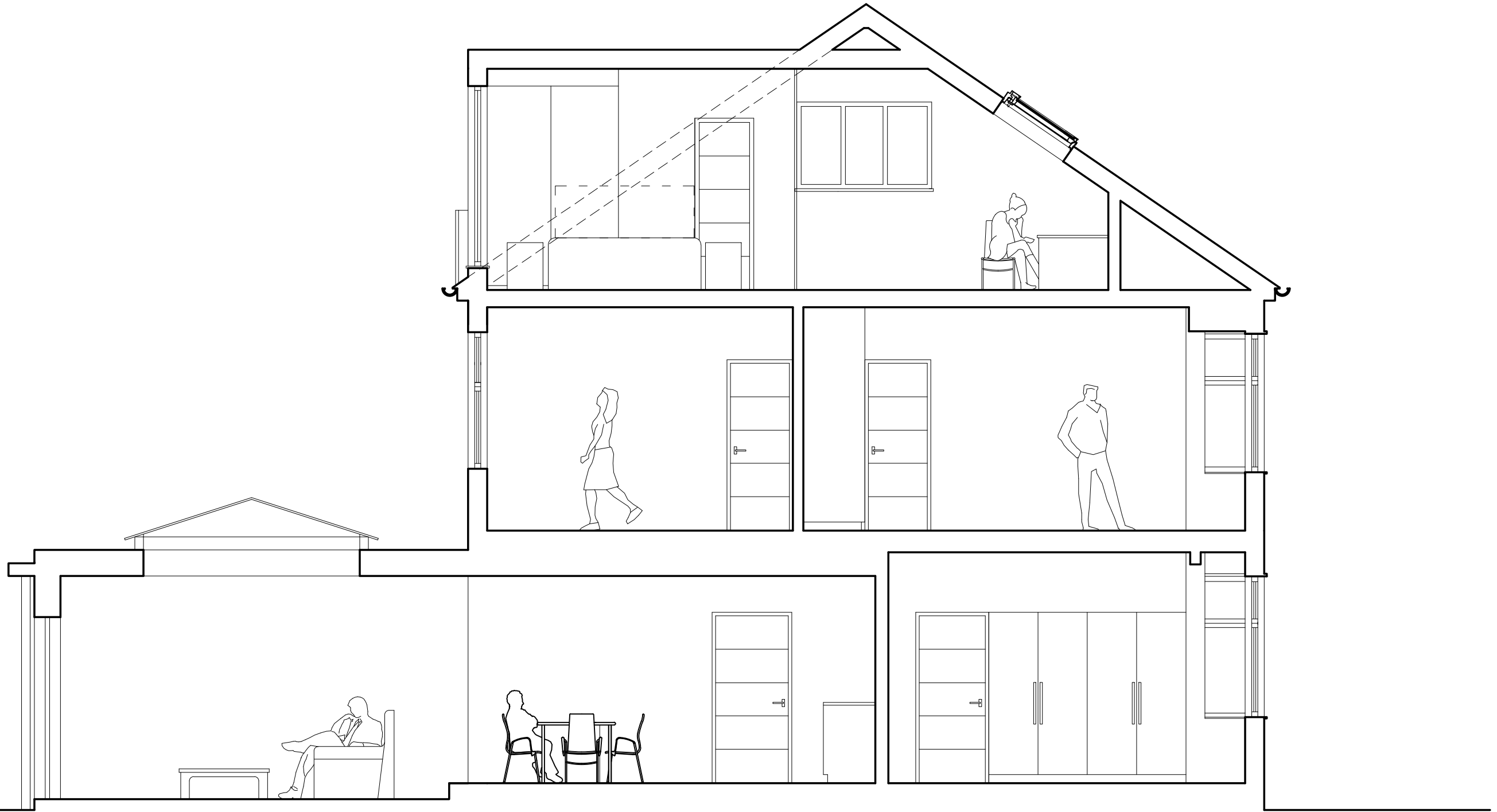
Tel: +44 (0)208 9713298

kbrooksarchitect @ AOL . com

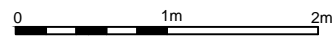
www . brookspractice . com

NOTE: All dimensions are in millimetres.
Do not scale off the drawings and report
any discrepancy to the architect.

© Designs and Drawings cannot be reproduced or used in any
form without the written consent of the company. All electronic
files will remain property of The Brooks Practice.
Drawings for planning purposes only.



EXISTING SECTION B-B



16 Leamington Av. SM4 4DW

BROOKS PRACTICE

Dwg. No: Existing Section B-B

ARCHITECTS - SPACE PLANNERS - DESIGNERS

Dwg. No: EC 07

94 Amity Grove London SW20 0LJ

Scale: 1:50 @ A3

Tel: +44 (0)208 9713298

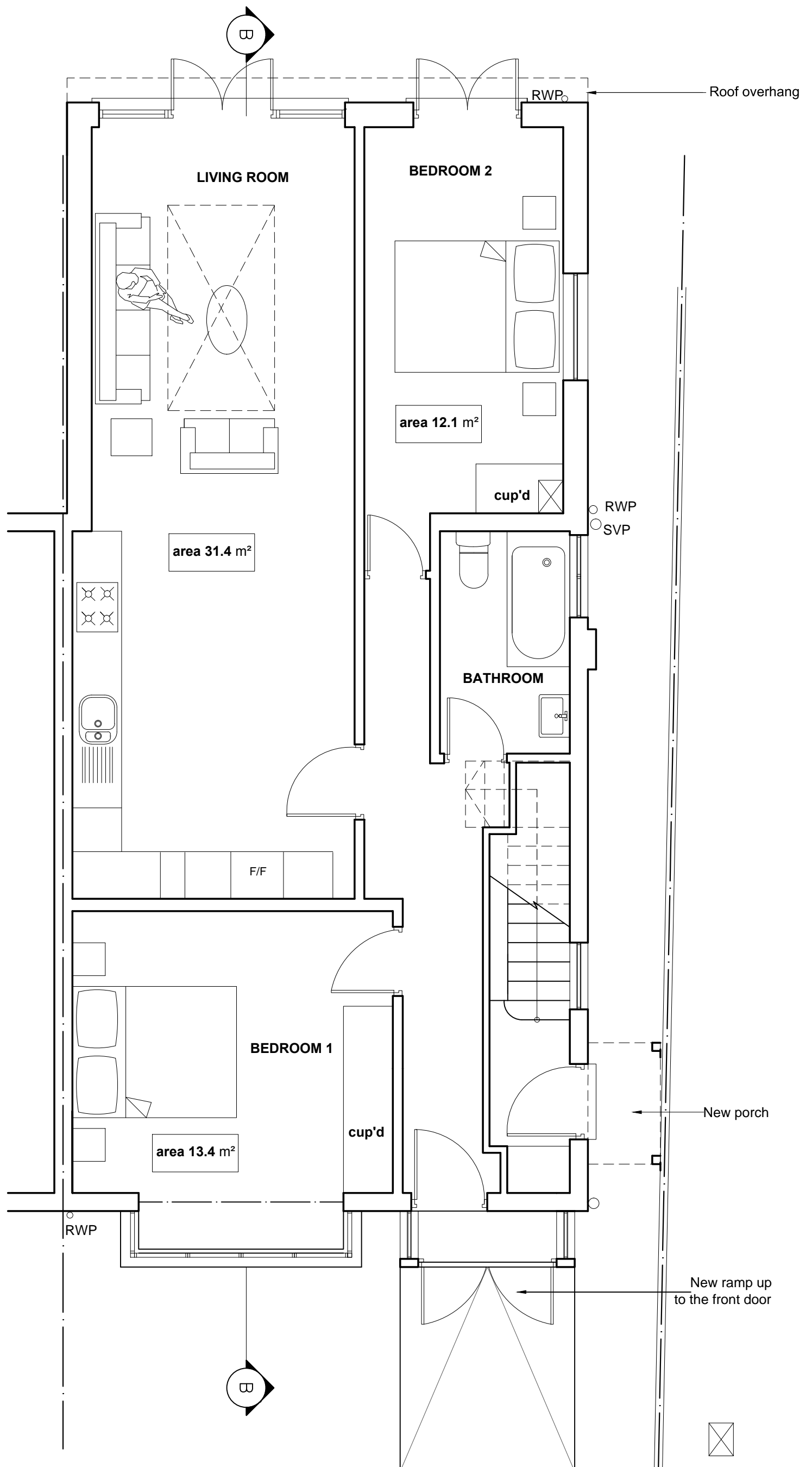
Date: June 2015

kbrooksarchitect @ AOL . com

www . brookspractice . com

NOTE: All dimensions are in millimetres.
Do not scale off the drawings and report
any discrepancy to the architect.

© Designs and Drawings cannot be reproduced or used in any
form without the written consent of the company. All electronic
files will remain property of The Brooks Practice.
Drawings for planning purposes only.



PROPOSED GROUND FLOOR PLAN

0 1m 2m



16 Leamington Av. SM4 4DW

Drawing: Proposed Ground Floor plan

Dwg. No: P 01 REV B

Scale: 1:50 @ A3

Date: June 2015

BROOKS PRACTICE

ARCHITECTS - SPACE PLANNERS - DESIGNERS

94 Amity Grove London SW20 0LJ

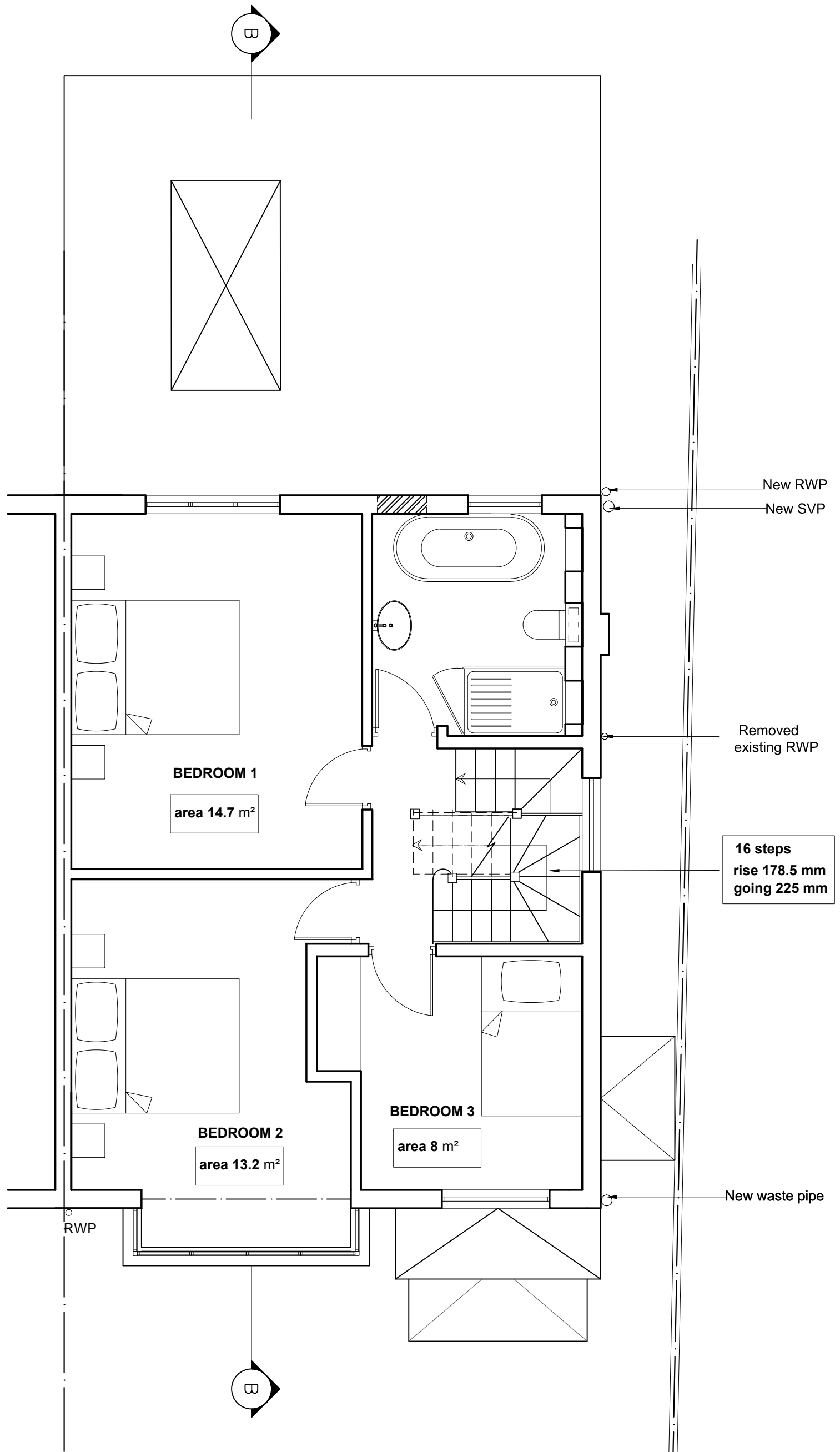
Tel: +44 (0)208 9713298

kbrooksarchitect @ AOL.com

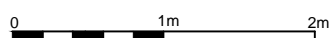
www.brookspractice.com

NOTE: All dimensions are in millimetres.
Do not scale off the drawings and report
any discrepancy to the architect.

© Designs and Drawings cannot be reproduced or used in any
form without the written consent of the company. All electronic
files will remain property of The Brooks Practice.
Drawings for planning purposes only.



PROPOSED FIRST FLOOR PLAN



16 Leamington Av. SM4 4DW

BROOKS PRACTICE

Drawing: Proposed First Floor Plan

ARCHITECTS - SPACE PLANNERS - DESIGNERS

Dwg. No: P 02 REV F

94 Amity Grove London SW20 0LJ

Scale: 1:50 @ A3

Tel: +44 (0)208 9713298

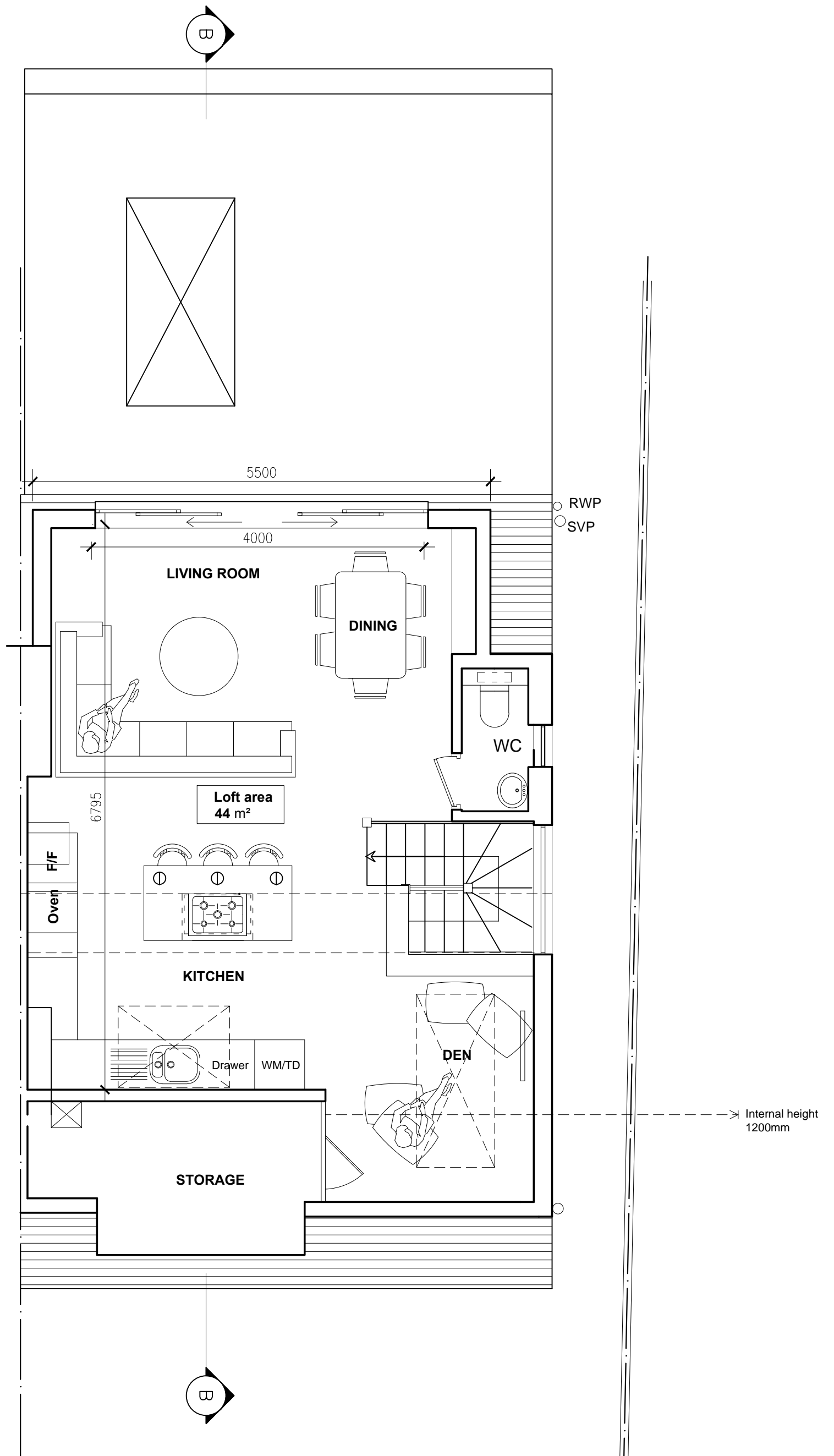
Date: October 2014

kbrooksarchitect @ AOL.com

www.brookspractice.com

NOTE: All dimensions are in millimetres.
Do not scale off the drawings and report
any discrepancy to the architect.

© Designs and Drawings cannot be reproduced or used in any
form without the written consent of the company. All electronic
files will remain property of The Brooks Practice.
Drawings for planning purposes only.



PROPOSED LOFT PLAN

0 1m 2m



16 Leamington Av. SM4 4DW

Drawing: Proposed Loft Plan

Dwg. No: P 03 REV D

Scale: 1:50 @ A3

Date: June 2015

BROOKS PRACTICE

ARCHITECTS - SPACE PLANNERS - DESIGNERS

94 Amity Grove London SW20 0LJ

Tel: +44 (0)208 9713298

kbrooksarchitect @ AOL . com

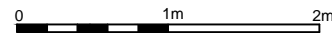
www.brookspractice.com

NOTE: All dimensions are in millimetres. Do not scale off the drawings and report any discrepancies to the architect.

© Designs and Drawings cannot be reproduced or used in any form without the written consent of the company. All electronic files will remain property of The Brooks Practice. Drawings for planning purposes only.



PROPOSED FRONT ELEVATION



16 Leamington Av. SM4 4DW

BROOKS PRACTICE

Drawing: Proposed Front Elevation

ARCHITECTS - SPACE PLANNERS - DESIGNERS

Dwg. No: P 07 REV A

94 Amity Grove London SW20 0LJ

Scale: 1:50 @ A3

Tel: +44 (0)208 9713298

Date: June 2015

kbrooksarchitect @ AOL.com

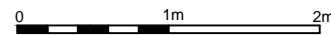
www.brookspractice.com

NOTE: All dimensions are in millimetres. Do not scale off the drawings and report any discrepancy to the architect.

© Designs and Drawings cannot be reproduced or used in any form without the written consent of the company. All electronic files will remain property of The Brooks Practice. Drawings for planning purposes only.



PROPOSED REAR ELEVATION



16 Leamington Av. SM4 4DW

Drawing: Proposed Rear Elevation

Dwg. No: P 06 REV A

Scale: 1:50 @ A3

Date: June 2015

BROOKS PRACTICE

ARCHITECTS - SPACE PLANNERS - DESIGNERS

94 Amity Grove London SW20 0LJ

Tel: +44 (0)208 9713298

kbrooksarchitect@AOL.com

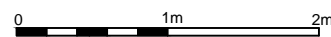
www.brookspractice.com

NOTE: All dimensions are in millimetres.
Do not scale off the drawings and report
any discrepancy to the architect.

© Designs and Drawings cannot be reproduced or used in any
form without the written consent of the company. All electronic
files will remain property of The Brooks Practice.
Drawings for planning purposes only.



PROPOSED SIDE ELEVATION



16 Leamington Av. SM4 4DW

Dwg. No: P 05 REV A

Scale: 1:50 @ A3

Date: June 2015

BROOKS PRACTICE

ARCHITECTS - SPACE PLANNERS - DESIGNERS

94 Amity Grove London SW20 0LJ

Tel: +44 (0)208 9713298

kbrooksarchitect@AOL.com

www.brookspractice.com

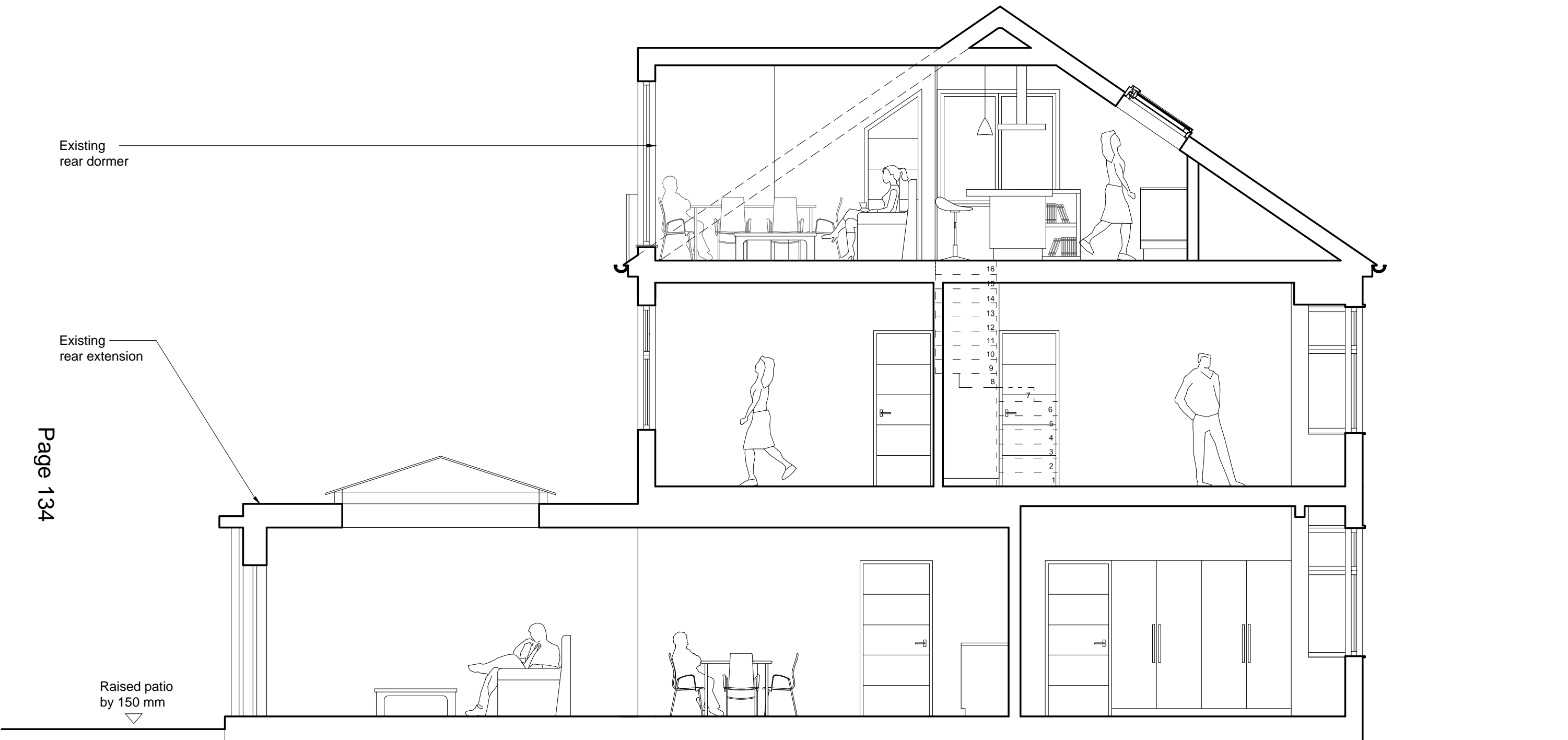
NOTE: All dimensions are in millimetres. Do not scale off the drawings and report any discrepancy to the architect.

© Designs and Drawings cannot be reproduced or used in any form without the written consent of the company. All electronic files will remain property of The Brooks Practice. Drawings for planning purposes only.

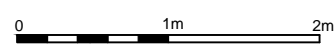
Existing rear dormer

Existing rear extension

Raised patio by 150 mm



PROPOSED SECTION B-B



16 Leamington Av. SM4 4DW

BROOKS PRACTICE

Drawing: Proposed Section B-B

ARCHITECTS - SPACE PLANNERS - DESIGNERS

Dwg. No: P 04 REV B

94 Amity Grove London SW20 0LJ

Scale: 1:50 @ A3

Tel: +44 (0)208 9713298

Date: June 2015

kbrooksarchitect @ AOL . com

www.brookspractice.com

NOTE: All dimensions are in millimetres.
 Do not scale off the drawings and report any discrepancy to the architect.

© Designs and Drawings cannot be reproduced or used in any form without the written consent of the company. All electronic files will remain property of The Brooks Practice.
 Drawings for planning purposes only.

PLANNING APPLICATIONS COMMITTEE
21st April 2016

<u>UPRN</u>	<u>APPLICATION NO.</u>	<u>DATE VALID</u>	<u>Item No:</u>
	15/P1506	13/05/2015	
Address/Site	34 Leopold Road, Wimbledon Park, London, SW19 7BD		
Ward	Wimbledon Park		
Proposal:	Conversion of the existing two storey dwelling to provide 1 x 3 bedroom ground floor flat with access to own rear garden and 2 x 1 bedroom flats including the erection of a two storey rear extension, rear dormer roof extensions and two roof lights to front roof slope		
Drawing Nos	LP-002 Rev A, 100 Rev H, 101 Rev G, 102 Rev F, 103 Rev D, 200 Rev H, 201 Rev D, 300 Rev C & 400 Rev B		
Contact Officer:	Stuart Adams (0208 545 3147)		

RECOMMENDATION

GRANT Planning Permission subject a S106 agreement and conditions.

CHECKLIST INFORMATION.

- Heads of agreement: - Permit Free Development & Affordable Housing
- Is a screening opinion required: No
- Is an Environmental Statement required: No
- Has an Environmental Impact Assessment been submitted – No
- Press notice – No
- Site notice – Yes
- Design Review Panel consulted – No
- Number of neighbours consulted – 18
- External consultations – No.
- Number of jobs created – N/A
- PTAL score – 5
- CPZ – P2 (s)

1. **INTRODUCTION**

- 1.1 The application has been brought before the Planning Applications Committee for consideration due to the number of objections received

2. **SITE AND SURROUNDINGS**

- 2.1 The application site comprises a two storey detached period house split into 2 x 2 bedroom flats, located in Leopold Road, Wimbledon Park. The existing building has a hipped roof and has a two storey rear extension across over half of the rear elevation. The ground floor flat is accessed from the front door and the first floor flat has an external rear staircase accessed via the side driveway to the right of the building.
- 2.2 Beyond the side driveway and to the rear of the application site is a detached building known as 34a Leopold Road (Coach House). This neighbouring property is orientated towards the application site. This flat roofed building has accommodation at ground and first floor level and has been recently been extended with a single storey front extension. The Coach House has its amenity space at the front of the building.
- 2.3 To the west of the application site is a two storey detached building split into flats known as 36 Leopold Road. The building includes accommodation at roof level also and has a single storey extension and detached single storey garage building to the rear. The flank wall of this neighbouring property and its rear boundary wall forms the western site boundary of the application site.
- 2.4 The adjacent three storey terrace to the east of the application site is part of the Leopold Road shopping parade, with commercial units at ground floor and residential above. The application site is separated from the terrace by the existing side driveway.
- 2.5 The application site is not located within a conservation area but adjoins the Kenilworth Avenue and Leopold Road Conservation Areas (side access located within the Leopold Road Conservation Area).

3. **CURRENT PROPOSAL**

- 3.1 The proposal is to convert and extend the existing building from 2x 2 bedroom flats to 1x 3 bedroom ground floor flat with access to own rear garden and 2x 1 bedroom flats at first floor and roof level including the erection of a two storey rear extension and rear dormer windows. It has been amended from the original proposal, which was to create 4 new units – 2x1bed and 2x 2bed – to 3 units.

- 3.2 The existing single storey rear extension would be demolished and rear external stair case removed. The proposed two storey rear extension would infill the L shape to extend the existing 3.9m deep two storey rear addition across the whole width of the rear elevation and would therefore be the same depth. The proposed extension would be in brickwork and tiles to match the main building and the first floor windows would be reconfigured on the new rear elevation resulting in two traditional timber sash windows replacing the four existing first floor windows. At ground floor level, the rear extension would have a timber door, timber sash window and bi-folding doors onto the rear garden.
- 3.3 The rear dormer windows would be of timber frame and would be obscure glazed up to 1.7m above internal floor level. Two conservation roof lights are proposed on the front roof slope of the building.
- 3.4 Timber clad bike and bin stores are proposed within the front garden behind new front boundary planting.
- 3.5 The floorspace of the flats compared to London Plan standards is as follows:

Unit	Dwelling type (bedroom (b)/ persons-bedspaces (p))	GIA (sq m)	London Plan
Flat 1	3b5p	108.8	50(1 storey)
Flat 2	1b2p	63.3	58 (2 storey)
Flat 3	1b2p	61.1	58 (2 storey)

4. **PLANNING HISTORY**

- 4.1 14/P4435 - Conversion to provide 2 x 1 bedroom flats, 2 x 2 bedroom flats including the erection of a two storey side extension (with undercroft), rear dormer roof extensions, roof lights and alterations to existing fenestration – Refused on 29/01/2015 for the following reasons:

The proposed two storey side/rear extension by reason of its design, height, massing and siting would be an overly dominant and un-neighbourly form of development that would fail to respect (or conserve) the visual amenities of the street scene and the Leopold Road Conservation Area and would lead to sense of enclosure and loss of outlook to the detriment of the amenities of the occupiers of Coach House, 34a Leopold Road, contrary to policies DM D2 Design Considerations in all developments, DM D3 Alterations and extensions to existing buildings and DM D4 Managing heritage assets of Merton's Adopted Sites and Policies

Plan (July 2014), and CS14 - Design of Merton's adopted Core Planning Strategy (July 2011).

&

The proposed ground floor flats by reason of their design and layout would be a unsatisfactory standard of residential accommodation due to poor outlook, limited natural light and poor quality amenity space would fail to meet the likely needs of future occupiers, and would be contrary to policy contrary to policies DM D2 Design Considerations in all developments of Merton's Adopted Sites and Policies Plan (July 2014) and CS14 - Design of Merton's adopted Core Planning Strategy (July 2011).

&

The proposed development would generate additional pressure on parking in the area, and in the absence of a legal agreement securing a car free agreement, the proposal would be contrary to policy CS20 of the Adopted Core Planning Strategy (July 2011).

- 4.2 13/P2363 - Application for a lawful development certificate for the proposed conversion of two flats into a single dwellinghouse – Issue - 17/10/2013
- 4.3 13/P2242 - Conversion of the two existing flats into 3, one bedroom flats and 1, two bedroom flat including the part demolition of the two storey rear addition and erection of single storey side/rear extension with rear roof terrace and creation of new flat entrances on the flank elevation – Refused on 13/12/2013 for the following reasons:

The proposed single storey rear extension by reason of its height, depth, massing and siting would be an overly dominant and un-neighbourly form of development that would lead to sense of enclosure and loss of outlook to the detriment of the amenities of the occupiers of Coach House, 34a Leopold Road, contrary to policies BE.15 (New Buildings and Extensions: Daylight, Sunlight, Privacy, Visual Intrusion and Noise) of the Council's adopted Unitary Development Plan (October 2003).

&

The proposed flat no 1 by reason of its design and layout would be a unsatisfactory standard of residential accommodation due to poor outlook, limited natural light and poor quality amenity space would fail to meet the likely needs of future occupiers, and would be

contrary to policy HS.1 of the Adopted Unitary Development Plan (October 2003) and to the Council's Supplementary Planning Guidance for Residential Alterations, Extensions and Conversions.

&

The proposed flats (2, 3 and 4) by reason of its size, design and layout, would be a cramped and unsatisfactory standard of residential accommodation due to the poor layout of the flat with limited circulation and floor space for furniture and fittings, poor outlook, limited natural light and poor quality amenity spaces would fail to meet the likely needs of future occupiers, and would be contrary to policy HS.1 of the Adopted Unitary Development Plan (October 2003) and to the Council's Supplementary Planning Guidance for Residential Alterations, Extensions and Conversions.

&

The proposed balcony due to its design, size and location adjacent to the boundary with Coach House, 34a Leopold Road would result in increased noise and disturbance to the detriment of the occupiers of neighbouring properties, most notably Coach House, 34a Leopold Road. The proposed development would therefore be contrary to policy BE.15 (New Buildings and Extensions; Daylight, Sunlight, Privacy, Visual Intrusion and Noise) of the London Borough of Merton UDP - October 2003, and the Council's Residential Extensions, Alterations and Conversions - SPG (2001).

&

All sites capable of providing between 1-9 units (net) are required to include affordable housing provision equivalent to that provided on-site as a financial contribution. In the absence of a legal agreement securing a financial contribution towards affordable housing or viability appraisal to justify that the scheme would be unviable with the inclusion of an affordable housing contribution, the proposal would be contrary to policies CS.8 of the Adopted Core Planning Strategy (July 2011) and Supplementary Planning Guidance: Planning Obligations (2006).

&

The proposed development would generate additional pressure on parking in the area, and in the absence of a legal agreement securing a car free agreement, the proposal would be contrary to policy CS20 of the Adopted Core Planning Strategy (July 2011).

4.4 10/P1289 - Conversion of the existing ground floor flat into 3 x self contained flats, involving erection of side & rear extensions, and the formation of new side entrances – Refused on 07/04/2011 for the following reasons:

1. The proposed studio flat by reason of its size, design and layout, would be a cramped and unsatisfactory standard of residential accommodation due to the poor layout of the flat with limited circulation and floor space for furniture and fittings, which would fail to meet the likely needs of future occupiers, and would be contrary to policy HS.1 of the Adopted Unitary Development Plan (October 2003) and to the Council's Supplementary Planning Guidance for Residential Alterations, Extensions and Conversions.

&

2. The proposed flat number 1 would fail to provide a satisfactory standard of accommodation and would result in sub-standard unit by failing to provide suitable amenity/garden space for the proposed flat. The development would therefore be contrary to Policy HS.1 of the Adopted Merton Unitary Development Plan (October 2003) and to the Council's Supplementary Planning Guidance for Residential Alterations, Extensions and Conversions.

&

3. The proposed side extension, by reason of its height, depth and siting would lead to loss of light, outlook and ventilation to the flank window and would create a sense of enclosure to the detriment of the amenities of the occupiers of ground floor flat, 36 Leopold Road, contrary to policies BE.15 and BE.23 of the Council's adopted Unitary Development Plan (October 2003) and to the Council's Supplementary Planning Guidance for Residential Alterations, Extensions and Conversions.

&

4. The proposed development would generate additional pressure on parking in the area, and in the absence of a legal agreement securing a car free agreement, the proposal would be contrary to policies PK.3 and PK.6 of the Adopted Unitary Development Plan (October 2003) and Supplementary Planning Guidance: Planning Obligations (2006).

4.5 08/P0475 - Conversion of the existing first floor flat into two self contained

flats, (one flat split level) involving hip to gable roof extension incorporating rear mansard roof extension and alterations to rear elevation to form rear roof terrace at second floor level – Refused on 10/09/2008 for the following reasons: (and dismissed at appeal)

1. The proposed roof extensions would by reason of its design, bulk, massing and siting result in an unduly dominant and inappropriate form of development, unsympathetic to and harmful to the appearance of the existing building and the Leopold Road street scene, and would appear unduly intrusive to the detriment of the amenities of neighbouring occupiers contrary to policy BE.3, BE.15, BE.23 and BE.24 of the Adopted Unitary Development Plan (October 2003) and the Council's Supplementary Planning Guidance on Residential Extensions, Alterations and Conversions (November 2001).

&

2. The proposed upper floor flat would fail to provide an adequate standard of residential accommodation that would meet the needs of future occupiers by having inadequate outlook from habitable rooms contrary to Policy HS.1 of the Adopted Unitary Development Plan (October 2003) and the Council's Supplementary Planning Guidance on Residential Extensions, Alterations and Conversions (November 2001).

5. **CONSULTATION**

5.1 The application has been advertised by conservation area site and press notice procedure and letters of notification to the occupiers of neighbouring properties.

5.1.1 Initial Consultation based on 4 unit scheme

5 letters of objection were received (one letter included 5 addresses) raising the following points:

- Located only three metres away from the neighbouring property (Coach House), the development will be over imposing, would be a cramped development, would result in loss of privacy and make outside space very claustrophobic.
- Increased pressure on parking. If the scheme is considered acceptable then the development should be permit free.
- Overcrowding & overdevelopment.
- Loss of light to the bathroom facing the alleyway between number 34 and number 36.

- Dispute over land ownership of the land between 34 and 36 Leopold Road. Incorrect certificate signed on application form makes the application invalid.
- Proposed extensions would fail to respect the form of development in the locality due to the low pitch of the roof and would detract from views into and out of the Kenilworth Avenue Conservation Area. It would be a stark contrast against the steep pitched roofs of the traditional Victorian development in the CA.
- Proposed cycle store along the front boundary would be highly prominent in the Leopold Road street scene and views to and from Leopold Road CA.
- Noise and disturbance from increased number of flats and amenity spaces.
- Loss of family sized accommodation.
- Concern with the quality of accommodation for the future occupiers. Single aspect bedroom at rear with outlook onto a fence at a short distance away (sense of enclosure). The front amenity space for units 3 and 4 is not private and would be unattractive with bins being stored in these areas.

5.1.2 Re-consultation based on the second set of amendments for a 3 unit scheme(see section 7.2 below)

4 letters of objection, mainly reiterating the concerns expressed above and in addition raising the following points with regards to the amendments:

- Overlooking – Use of obscured glazing on sash windows is useless as they can be opened.
- Concern with building works and vehicles impacting on the adjoining commercial trading during construction. Suggested condition that no skips are to be placed or other such tasks that would interfere with shopping parking bays.

5.1.3 Transport Planning – No objection subject to S106 agreement (permit free)

6. **RELEVANT PLANNING POLICY**

6.1 Adopted Merton Site and Policies Plan (July 2014):

DM H2 Housing mix
 DM H3 Support for affordable housing
 DM D2 Design Considerations in all developments
 DM D3 Alterations and Extensions to Buildings
 DM D4 Managing heritage assets
 DM T1 Support for sustainable transport and active travel
 DM T2 Transport impacts of development

DM T3 Car parking and servicing standards

- 6.2 Merton Supplementary Planning Guidance
New Residential Development (December 1999)
Planning Obligations (July 2006)
- 6.3 Adopted Merton Core Planning Strategy (July 2011)
CS8 – Housing Choice
CS9 - Housing Provision
CS14 - Design
CS18 – Active Transport
CS19 – Public Transport
CS20 - Parking, Servicing and Delivery
- 6.4 London Plan (2015) and Minor Alterations to the London Plan (March 2016)
3.3 (Increasing Housing Supply),
3.4 (Optimising Housing Potential),
3.5 (Quality and Design of Housing Developments),
3.8 (Housing Choice),
5.1 (Climate Change Mitigation),
5.3 (Sustainable Design and Construction).

7. **PLANNING CONSIDERATIONS**

- 7.1 The principal planning considerations in this case relate to the principle of development, including design of the extensions, impact on neighbouring amenity, standard of residential accommodation, traffic and parking.
- 7.2 Amendments
 - 7.2.1 The first set of amendments replaced the existing fenestration at the rear of the building with two smaller timber framed sash windows at first floor with timber door, sash window and bi-folding doors at ground floor level. The size of the rear dormers were also reduced in size and changed to a more traditional design with part obscure glazing.
 - 7.2.2 The second set of the revised plans has reduced the number of flats within the scheme from 4 to 3 flats. The amended layout of the accommodation has resulted in a three bedroom flat at ground floor with a private rear garden and two, one bedroom split level flats at first and roof level. Two roof lights have also been inserted into the front roof slope.
- 7.3 Comparison to 14/P4435
 - 7.3.1 In comparison to the previous refusal, LBM ref - 14/P4435, the number of

the current application has sought to overcome the reasons for refusal in a number of ways. The number of proposed units has been reduced from 4 to 3, the two storey side extension forming part of refused application 14/P4435 has been removed and the proposed rear extension has been amended from a flat roof to a lower pitched roof design to marry in with the roof form of the existing two storey rear addition and the rear fenestration has been amended to be more sympathetic to the original building.

7.4 Principle of Development

7.4.1 The London Plan and both the Council's adopted Core Planning Strategy and Sites and Policies Plan seeks to increase housing provision where it can be shown that an acceptable standard of accommodation will be provided and provide a mix of dwelling types. The London Plan published in July 2011 sets Merton with a minimum ten year target of 3,200 dwellings within the borough between 2011 - 2021. The proposed development of the site would create a net increase of one new flat. The principle of development is therefore considered acceptable, making a modest contribution towards meeting housing choice and housing targets.

7.5 Design and Impact on Streetscene

7.5.1 The two storey rear extension would have a traditional design approach that follows the eaves line and sloping roof form of the existing two storey rear extension, in materials to match. The reconfiguration of the windows across the whole rear elevation, with a reduction in number of first floor windows and their replacement with two sliding sash windows would be an improvement to its appearance, albeit not visible from the public realm. The proposed rear dormer windows are modest in size, sit comfortably within the rear roof slope and do not appear overly dominant, responding to the siting and design of the proposed fenestration on the floor below. The proposed extensions are therefore considered to be acceptable, respecting the design of the original building.

7.5.2 The cycle and bin stores within the front garden area have been modified and reduced in size at the planning officer's request and would sit behind a front boundary hedge treatment. The proposed appearance of the front curtilage is considered to be acceptable.

Neighbour Impact

32 Leopold Road

7.5.2 The proposed two storey rear extension would be sited behind the flank of the existing two storey rear extension and would therefore have no

impact on the amenity of the occupiers of no.32.

34a Leopold Road (Coach House)

7.5.3 As noted by the planning inspector in relation to the dismissed appeal on 08/P0475, the relationship between the application site and this neighbouring property at the rear of the site is a sensitive one. Careful consideration has been given to limiting the impact of the development upon this neighbour's amenity. Unlike a number of the previously refused applications, there is no proposed side extension or major increase in the bulk and massing of the main roof form. The two storey rear extension would sit adjacent to the existing two storey rear addition and would be no greater in height or rearward projection relative to the boundary with the Coach House. This neighbouring property has a single storey extension that directly abuts the boundary, and the first floor windows are at a sufficient distance that there would not be an unacceptable impact on light and outlook.

7.5.4 In terms of impact on privacy, there are four existing first floor windows within the rear elevation of 34 Leopold Road and an external rear staircase entrance to the upper floor flat. The four existing windows would be replaced with two timber sash windows and the external rear staircase would be removed. In addition, the windows would be obscure glazed up to 1.7m above finished floor level and can also be conditioned to have a fixed bottom pane. The main habitable rooms to the upper flats are on the front elevation, benefitting from the outlook from the large bay windows.

7.5.6 In regards to the two rear dormer roof extensions, these are small in size and serve the bedrooms within the roof space. They will also be obscure glazed up to 1.7m above finished floor level and would be conditioned to have a fixed bottom pane to avoid impact on the privacy of the Coach House. The upper parts of the windows can be opened for ventilation purposes and provide clear outlook for the proposed bedrooms which also have rooflights on the front elevation for additional light and outlook.

36 Leopold Road

7.5.6 The proposed rear extension would be set away from the boundary with this neighbouring property, in line with the existing main side wall and would not project beyond its rear elevation. The flank window of this neighbouring property serves a bathroom and although there may be a degree of loss of light to this window from the extension, this is a non-habitable room, and would be insufficient grounds for refusal.

7.6 Standard of Accommodation

- 7.6.1 The proposal provides a 3-bedroom family sized unit at ground floor with direct access to a private garden space with a floorspace well in excess of London Plan Gross Internal Area minimum standards and private amenity space in excess of Merton's guidelines.
- 7.6.2 Whilst the 2x 1-bed upper floor flats do not have direct access to amenity space, they are not family sized units and it is preferable for the larger ground floor family sized unit to have private garden space. The existing arrangement with the external staircase impacts on the privacy of ground floor windows as well as neighbouring properties and on balance the proposed arrangement is considered to be acceptable. The upper floor flats both exceed the London Plan GIA minimum requirements.

7.7 Traffic and Parking

- 7.7.1 This site has a PTAL rating of 5 and is located in Controlled Parking Zone PS (2). Leopold Road operates as a local distributor road and is reasonable heavily trafficked. The proposed development only involves a net increase of 1 residential unit. To offset the additional demand in an area well served by public transport, it is proposed that the development be subject to a S106 agreement whereby the occupiers of the one of the upper floor flats would not be entitled to a car parking permit. This would ensure that there is no additional pressure on the controlled parking zones in the vicinity. As part of the planning application submission the applicant has confirmed that they agree with the permit free development.
- 7.7.2 The objection from a local business regarding parking of skips and construction vehicles during the construction of the development have been noted. The proposed development is modest in scale with only a small two storey rear extension being proposed. Therefore it is not expected that the construction period would cause long term impact upon the surrounding highway network. A separate skip license would be required from the Councils Highway Section and existing parking controls along Leopold Road restrict parking to a maximum of 1 hour. Therefore the proposed development is not considered to cause adverse impact upon the highway network for the reasons stated above.

7.8 Affordable Housing

- 7.8.1 Planning policy CS8 (Housing Choice) of Merton's Core Planning Strategy states that the Council will seek provision of an affordable housing equivalent to that provided on-site as a financial contribution on sites where there is a net increase of between 1-9 units. The building currently contains two flats; therefore there is a net increase of 1 unit for the

purposes of the affordable housing contribution. In line with the above requirement, the affordable housing contribution in this instance would be £47,497.

7.9 Local Financial Considerations

7.9.1 The proposed development is liable to pay the Merton and Mayoral Community Infrastructure Levy (CIL), the funds for which will be applied by the Mayor towards the Crossrail project. Merton's Community Infrastructure Levy was implemented on 1st April 2014. This will enable the Council to raise, and pool, contributions from developers to help pay for things such as transport, decentralised energy, healthcare, schools, leisure and public open spaces - local infrastructure that is necessary to support new development. Merton's CIL has replaced Section 106 agreements as the principal means by which pooled developer contributions towards providing the necessary infrastructure should be collected.

8.0 **CONCLUSION**

8.1 Following a number of refused applications for more ambitious proposals to extend the existing property and increase the number of residential units, a more modest development proposal has been submitted. The extension to the property is now limited to a continuation of the existing two storey extension across the remainder of the rear elevation. The proposed roof level windows are modest in size and other than these windows, the main roof form is unaltered. A good quality family sized unit is provided at ground floor and there is only 1 net additional unit of residential accommodation. The proposed extension would respect the original building, general pattern of development in the area and would have no undue impact on neighbouring amenity subject to suitable conditions being imposed. The proposed development is modest in scale and subject to a permit free development would have no undue impact upon highway conditions. The proposal is generally in accordance with development plan policies and is therefore recommended for approval subject to conditions and S106 agreements.

RECOMMENDATION

GRANT PLANNING PERMISSION

Subject to the completion of a Section 106 Agreement covering the following heads of terms:-

1. Designation of the development as permit-free and that on-street parking permits would not be issued for future residents of

the proposed development.

2. That the developer makes an on-site contribution towards Affordable housing (£47, 497).
3. The developer agreeing to meet the Councils costs of preparing, drafting and monitoring the Section 106 Obligations.

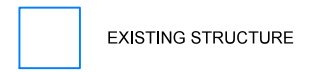
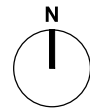
And the following conditions:

1. A1 Commencement of Development (full application)
2. A7 Approved Plans
3. B3 Matching materials (including conservation area roof lights)
4. Obscured glazed windows and fixed shut up to 1.7m above internal floor level (first floor and dormers)
5. C06 Refuse and Recycling (Details to be submitted)
6. C07 Refuse and Recycling (Implementation)
7. Cycle Parking
8. D11 Construction Times
9. F01 Landscaping/Planting Scheme
10. F02 Landscaping (Implementation)

NORTHGATE SE GIS Print Template



Text Details **34 Leopold Road**



EXISTING STRUCTURE



EXISTING BUILDING OUTLINE



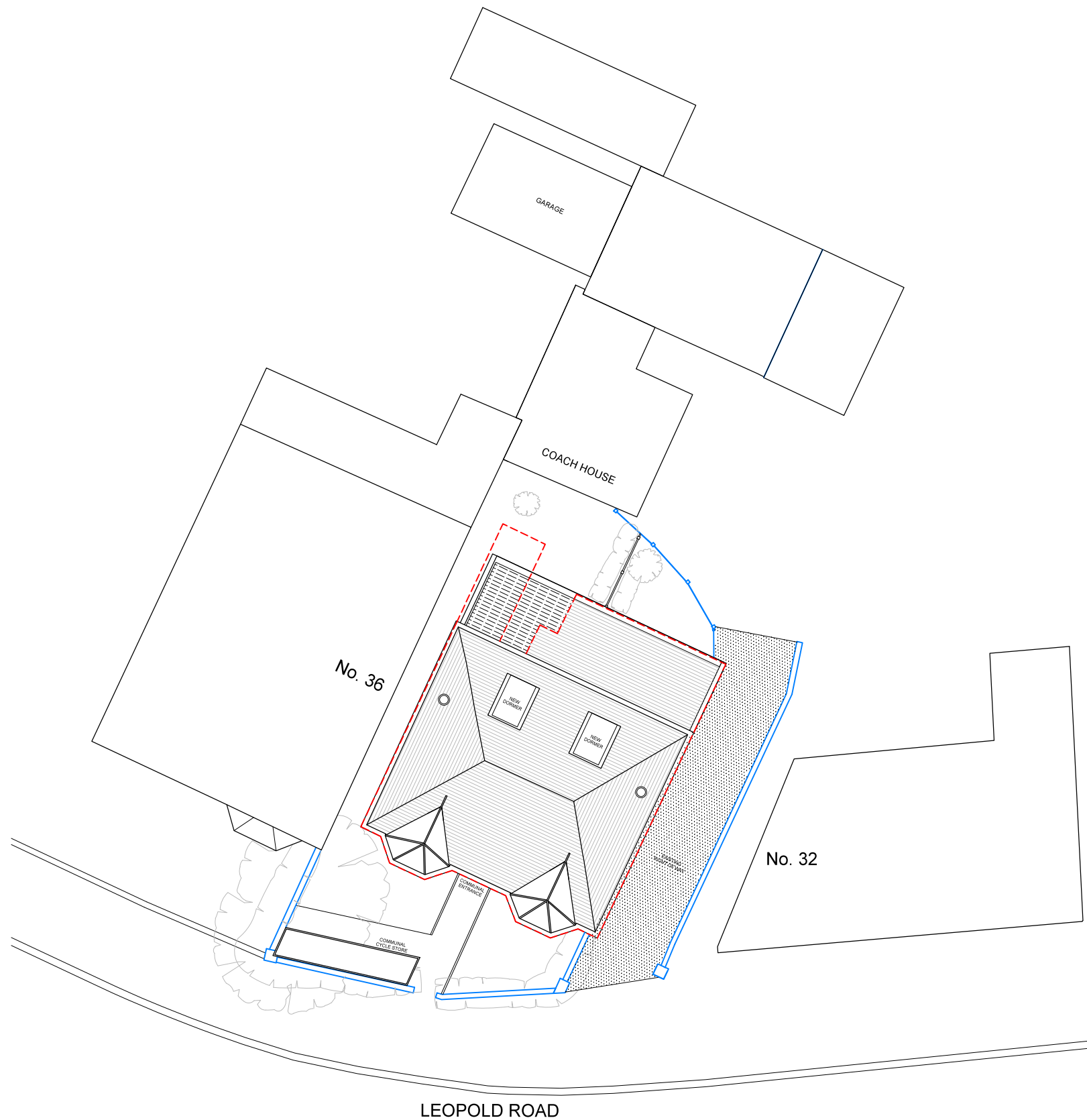
EXISTING RIGHT OF WAY



PROPOSED ROOF TILES TO MATCH EXISTING



EXISTING ROOF TILES



ISSUED FOR PLANNING 24.03.15 MD
REVISION DATE/DRAWN



PROJECT LEOPOLD ROAD

DRAWING TITLE PROPOSED
SITE PLAN

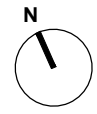
DATE MARCH 2015 SCALE 1:200 @ A3

DRAWN MD CHECK MG

STATUS PLANNING

JOB NUMBER AI-2180

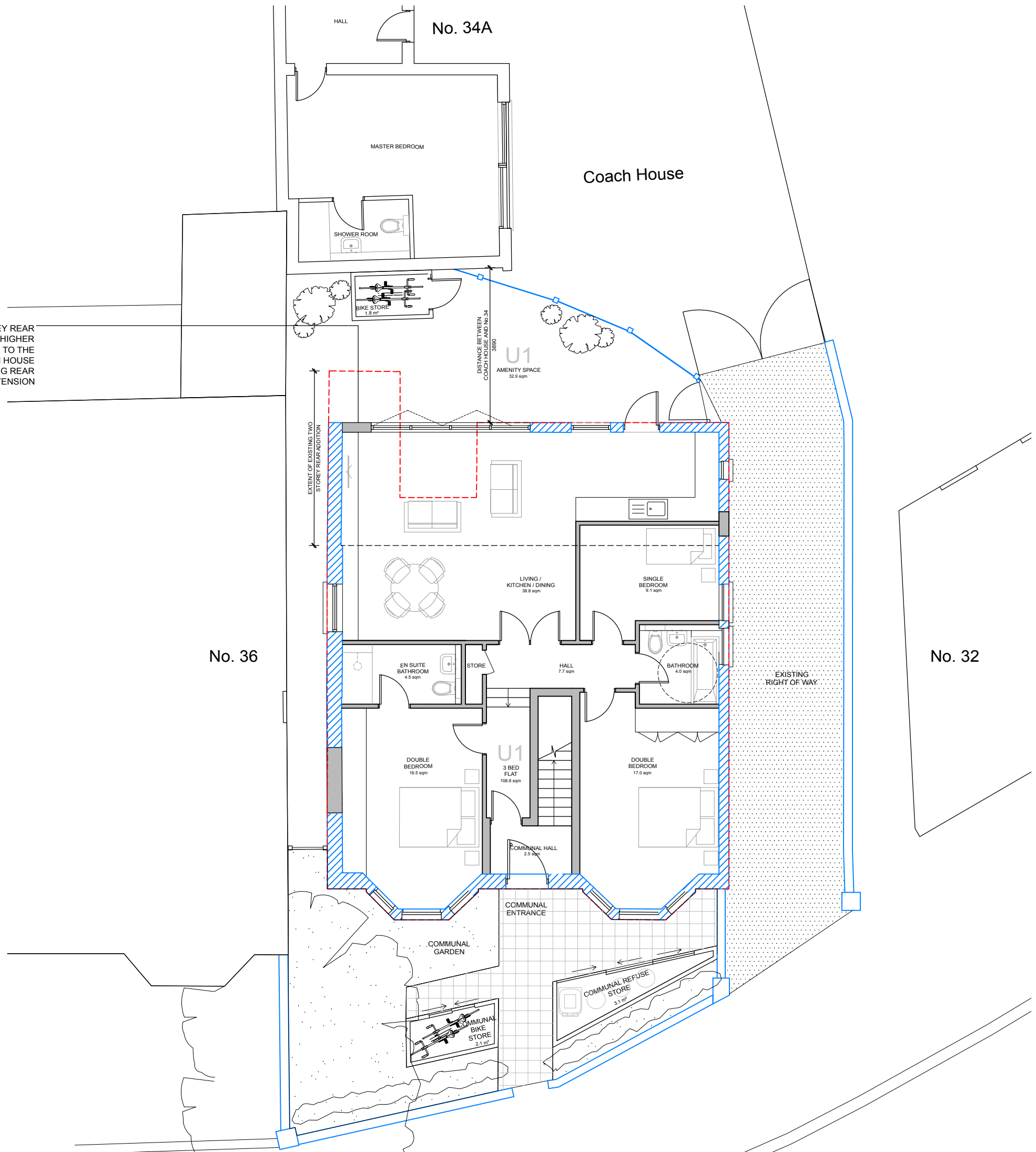
DRAWING NUMBER LP-002 REV -



KEY

- EXISTING STRUCTURE
- PROPOSED STRUCTURE
- EXISTING RIGHT OF WAY
- EXISTING BUILDING OUTLINE

PROPOSED TWO STOREY REAR ADDITION WOULD BE NO HIGHER THAN OR CLOSER TO THE NEIGHBOURING COACH HOUSE THAN THE EXISTING REAR EXTENSION



REVISION	DATE/DRAWN
H	AMENDED COMMUNAL CYCLE STORE 05.04.16 NW
G	AMENDED CYCLE AND BIN STORE LAYOUT 29.01.16 JH
F	AMENDMENTS TO EXTERNALWORKS 21.01.16 JH
E	AMENDED LAYOUT 14.10.15 NC
D	GIA FLAT AREAS ADDED 23.09.15 MD
C	REAR WINDOWS REVISED AND DOORS ADDED 14.07.15 SR
B	GROUND FLOOR WINDOWS REVISED 14.07.15 SR
A	ISSUED FOR PLANNING 06.07.15 MD
-	ISSUED FOR PLANNING 24.03.15 MD



PROJECT LEOPOLD ROAD

DRAWING TITLE PROPOSED
GROUND FLOOR PLAN

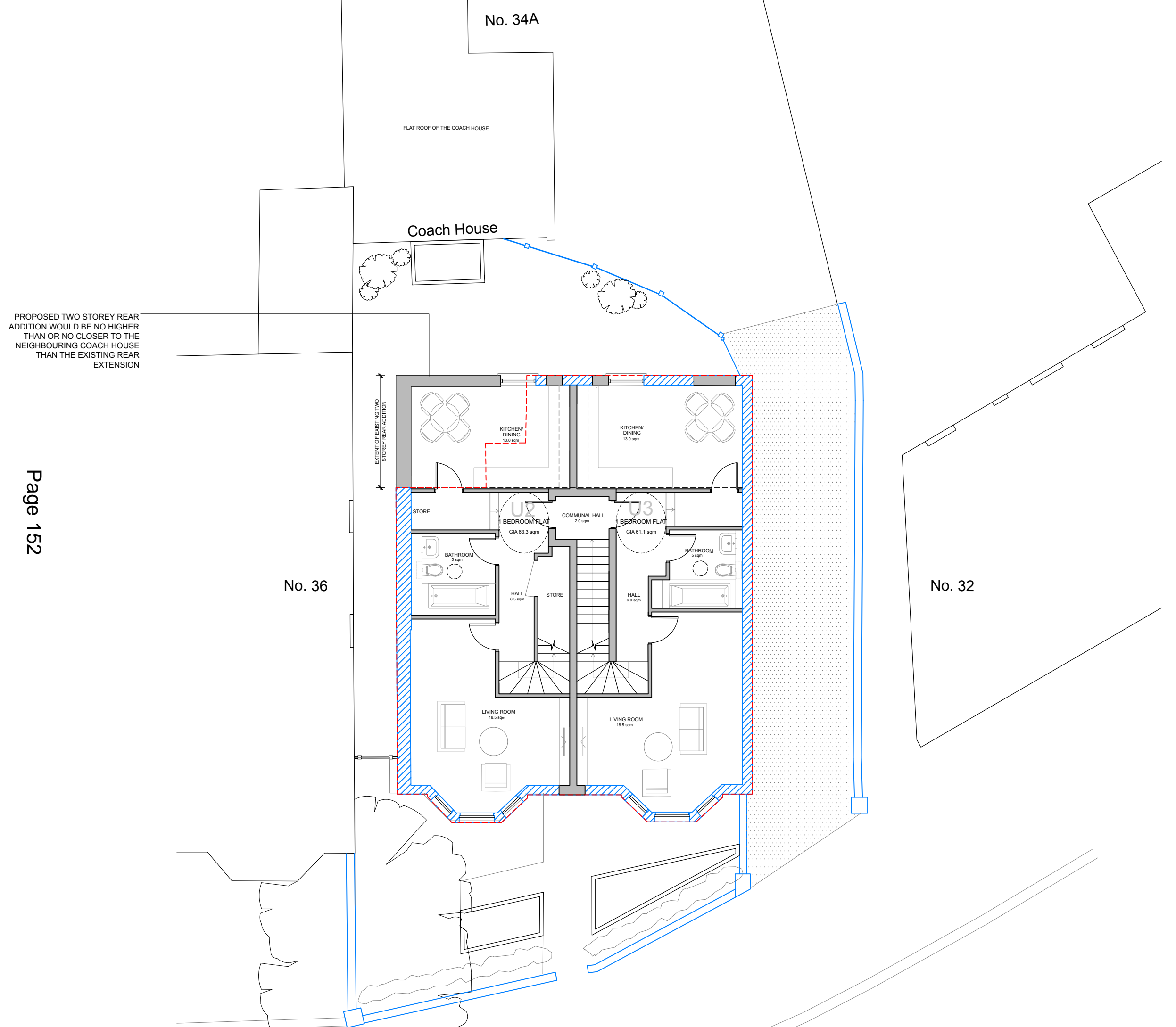
DATE JAN 2016 SCALE 1:100 @ A3

DRAWN JH CHECK TR

STATUS PLANNING

JOB NUMBER AI-2180

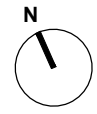
DRAWING NUMBER LP-100 REV H



PROPOSED TWO STOREY REAR ADDITION WOULD BE NO HIGHER THAN OR NO CLOSER TO THE NEIGHBOURING COACH HOUSE THAN THE EXISTING REAR EXTENSION

Page 152

1:100
0 1 2 3 4



KEY



EXISTING STRUCTURE



PROPOSED STRUCTURE



EXISTING RIGHT OF WAY



EXISTING BUILDING OUTLINE

No. 36

No. 32

REVISION	DATE/DRAWN
G	AMENDED BIKE STORAGE 11.04.16 NW
F	AMENDED LAYOUT 29.01.06 JH
E	AMENDED LAYOUT 21.01.16 JH
D	AMENDED LAYOUT 14.10.15 NC
C	GIA FLAT AREAS ADDED 23.09.15 MD
B	REAR WINDOWS REVISED 14.07.15 SR
A	ISSUED FOR PLANNING 10.07.15 MD
-	ISSUED FOR PLANNING 24.03.15 MD



PROJECT LEOPOLD ROAD

DRAWING TITLE PROPOSED
FIRST FLOOR PLAN

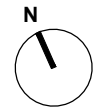
DATE JAN 2016 SCALE 1:100@A3

DRAWN JH CHECK TR


STATUS PLANNING


JOB NUMBER AI-2180


DRAWING NUMBER LP-101 REV G




KEY

 EXISTING STRUCTURE

 PROPOSED STRUCTURE

 EXISTING RIGHT OF WAY

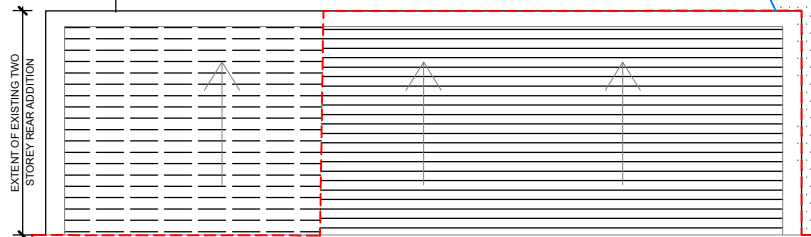
 EXISTING BUILDING OUTLINE

 PROPOSED ROOF TILES TO MATCH EXISTING

 EXISTING ROOF TILES

Coach House

PROPOSED TWO STOREY REAR ADDITION WOULD BE NO HIGHER THAN OR NO CLOSER TO THE NEIGHBOURING COACH HOUSE THAN THE EXISTING REAR EXTENSION

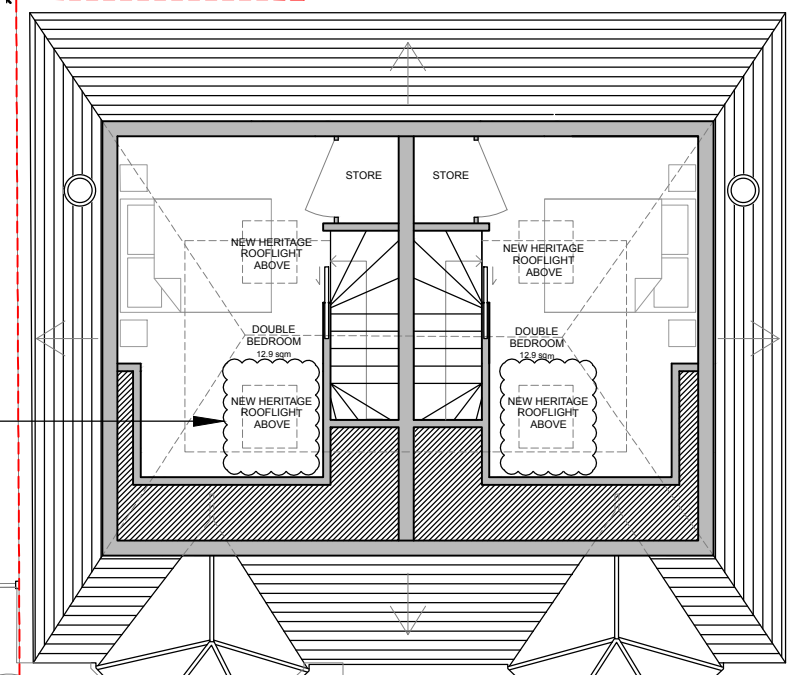


EXTENT OF EXISTING TWO STOREY REAR ADDITION

No. 36

No. 32

FRONT ROOFLIGHTS ADDED



REVISION	DATE/DRAWN
F	AMENDED BIKE STORAGE 11.04.16 NW
E	FRONT ROOFLIGHTS ADDED 29.01.16 JH
D	ROOFLIGHTS ADDED 21.01.16 JH
C	AMENDED LAYOUT 14.10.15 NC
B	NOTE TO REAR EXTENSION ADDED 23.09.15 MD
A	ISSUED FOR PLANNING 06.07.15 MD
-	ISSUED FOR PLANNING 24.03.15 MD



PROJECT LEOPOLD ROAD

DRAWING TITLE PROPOSED SECOND FLOOR PLAN

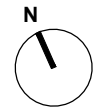
DATE JAN 2016 SCALE 1:100 @ A3

DRAWN JH CHECK TR


STATUS PLANNING


JOB NUMBER AI-2180


DRAWING NUMBER LP-102 REV F





KEY

 EXISTING STRUCTURE

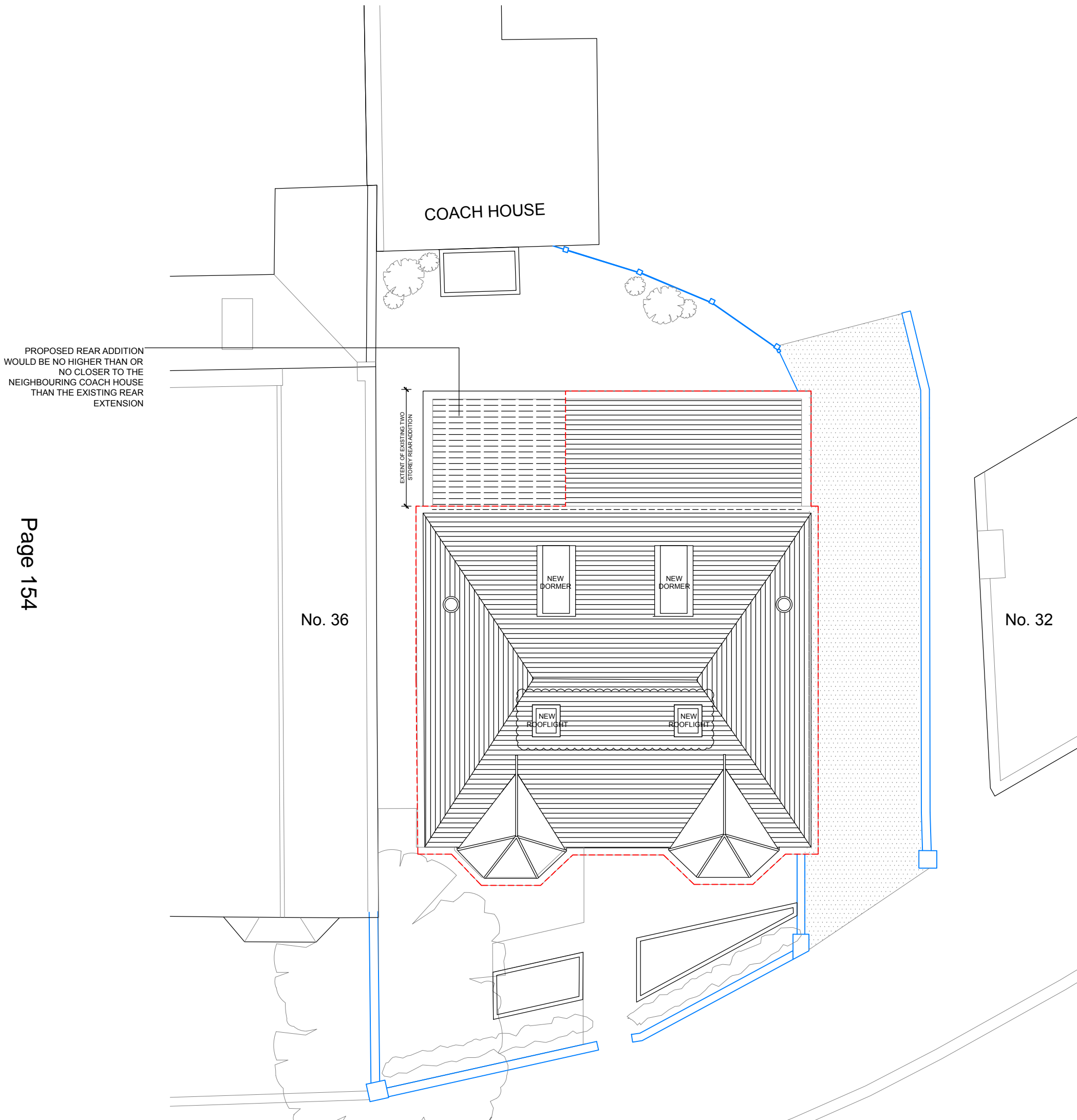
 PROPOSED STRUCTURE

 EXISTING RIGHT OF WAY

 EXISTING BUILDING OUTLINE

 PROPOSED ROOF TILES TO MATCH EXISTING

 EXISTING ROOF TILES



REVISION	DATE/DRAWN
D	AMENDED BIKE STORAGE 11.04.16 NW
C	ROOFLIGHTS ADDED TO FRONT ELEVATION 29.01.16 JH
B	AMENDED LAYOUT 14.10.15 NC
A	NOTE TO REAR EXTENSION ADDED 23.09.15 MD
-	ISSUED FOR PLANNING 24.03.15 MD



PROJECT LEOPOLD ROAD

DRAWING TITLE PROPOSED
ROOF PLAN

DATE OCT 2015 SCALE 1:100 @ A3







DRAWN MD CHECK TR

STATUS PLANNING

JOB NUMBER AI-2180

DRAWING NUMBER LP-103 REV D

KEY

-  PROPOSED BRICKWORK TO MATCH EXISTING
-  EXISTING BRICKWORK
-  PROPOSED ROOF TILES TO MATCH EXISTING
-  EXISTING ROOF TILES
-  LINE OF OBSCURED GLAZING
-  EXISTING BUILDING OUTLINE

1. EXISTING TIMBER WINDOWS
2. NEW TIMBER SASH WINDOWS TO MATCH EXISTING
3. NEW TIMBER FRAMED DORMER WINDOWS WITH OBSCURED GLAZING
4. NEW TIMBER FRAMED SASHED WINDOWS TO MATCH EXISTING
5. NEW TIMBER PANELLED DOOR TO MATCH EXISTING
6. NEW TIMBER FRAMED GLAZED DOOR TO MATCH EXISTING WINDOWS
7. NEW TIMBER FRAMED GLAZED BI-FOLD DOOR WITH OBSCURED GLAZING

H	ROOFLIGHTS ADDED TO FRONT ELEVATION	29.01.16	JH
G	OBSCURED GLAZING ADDED TO FIRST & SECOND FLOOR WINDOWS	20.01.16	JH
F	AMENDED LAYOUT	14.10.15	NC
E	LINE OF EXISTING BUILDING AMENDED	23.09.15	MD
D	GLAZING IN REAR DOORS REVISED	15.07.15	SR
C	REAR WINDOWS REVISED AND DOORS ADDED	14.07.15	SR
B	GROUND FLOOR WINDOWS REVISED	14.07.15	SR
A	ISSUED FOR PLANNING	10.07.15	MD
-	ISSUED FOR PLANNING	24.03.15	MD

REVISION DATE/DRAWN



PROJECT LEOPOLD ROAD

DRAWING TITLE PROPOSED NORTH & SOUTH ELEVATIONS

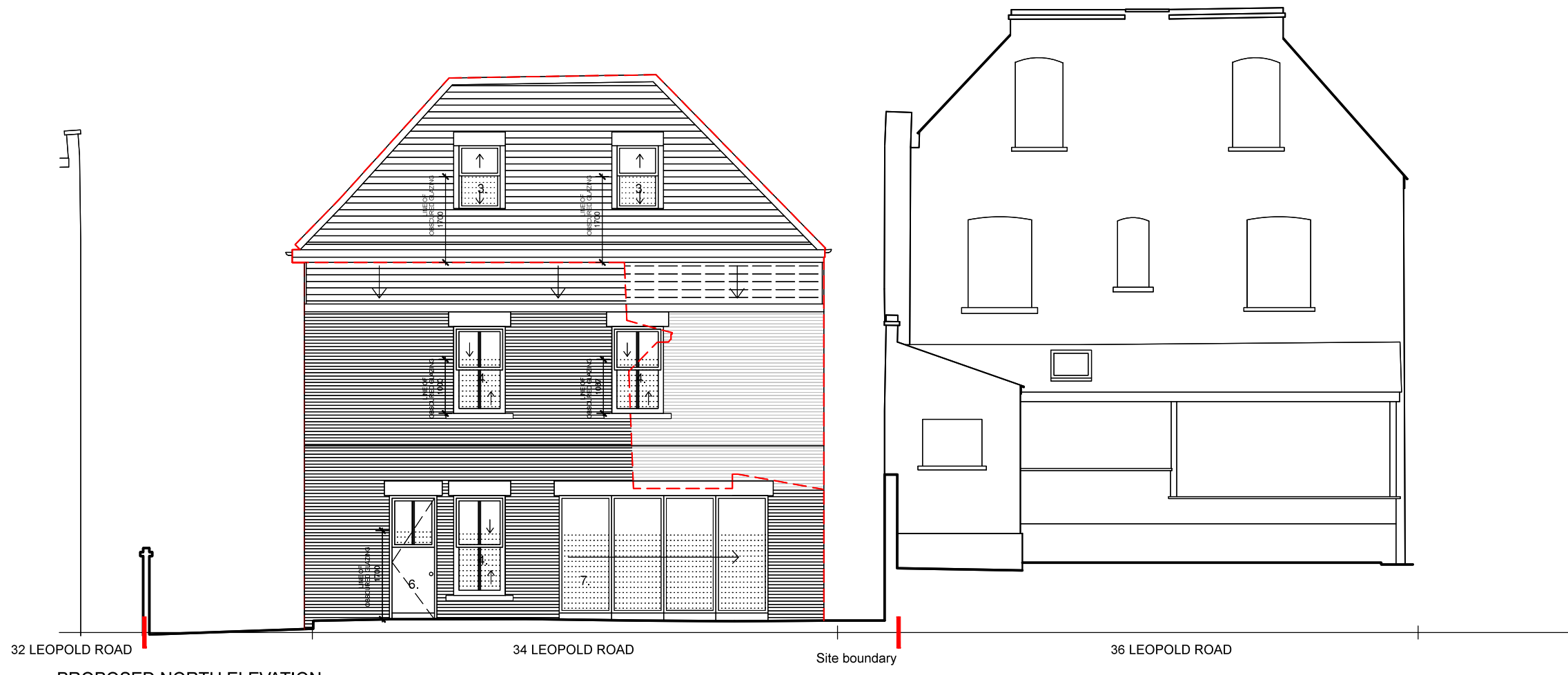
DATE JAN 2016 SCALE 1:100@A3

DRAWN JH CHECK TR

STATUS PLANNING

JOB NUMBER AI-2180

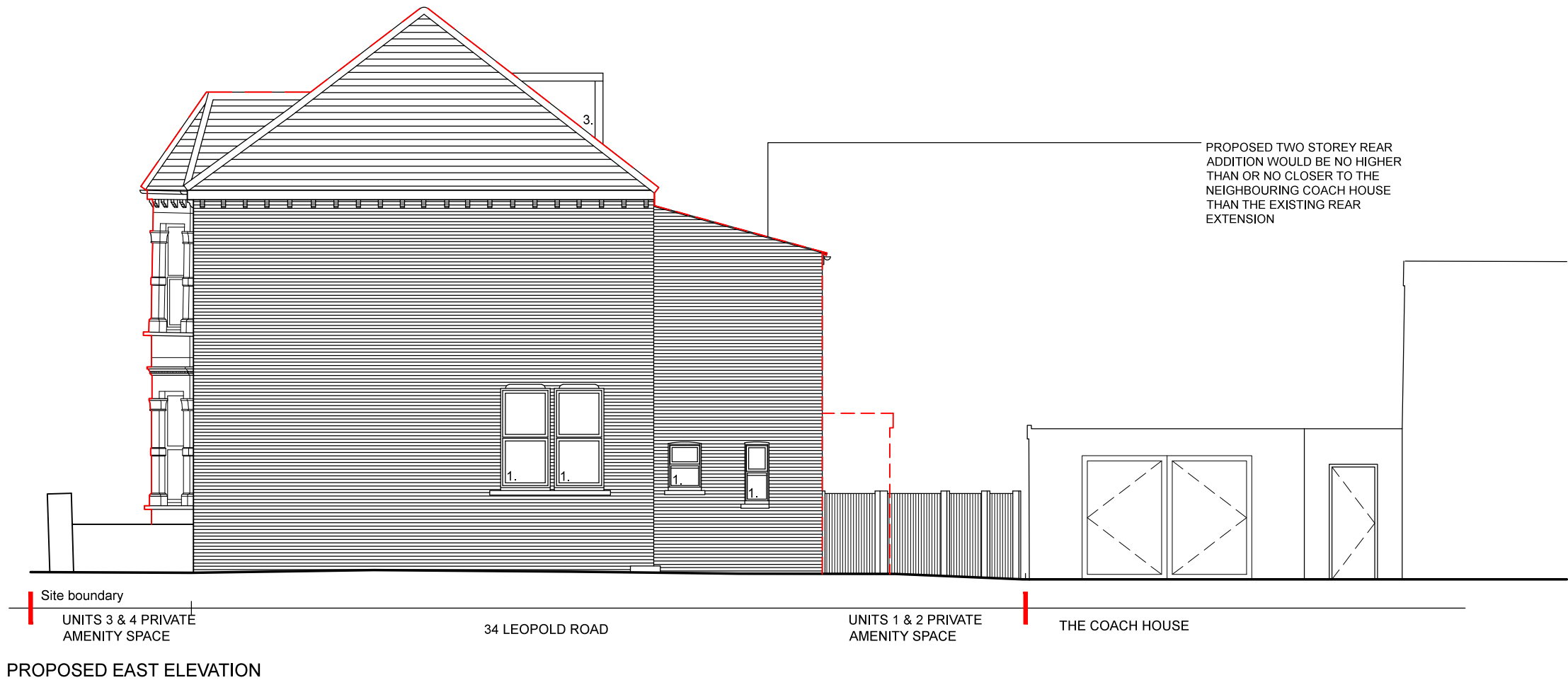
DRAWING NUMBER LP-200 REV H



PROPOSED NORTH ELEVATION



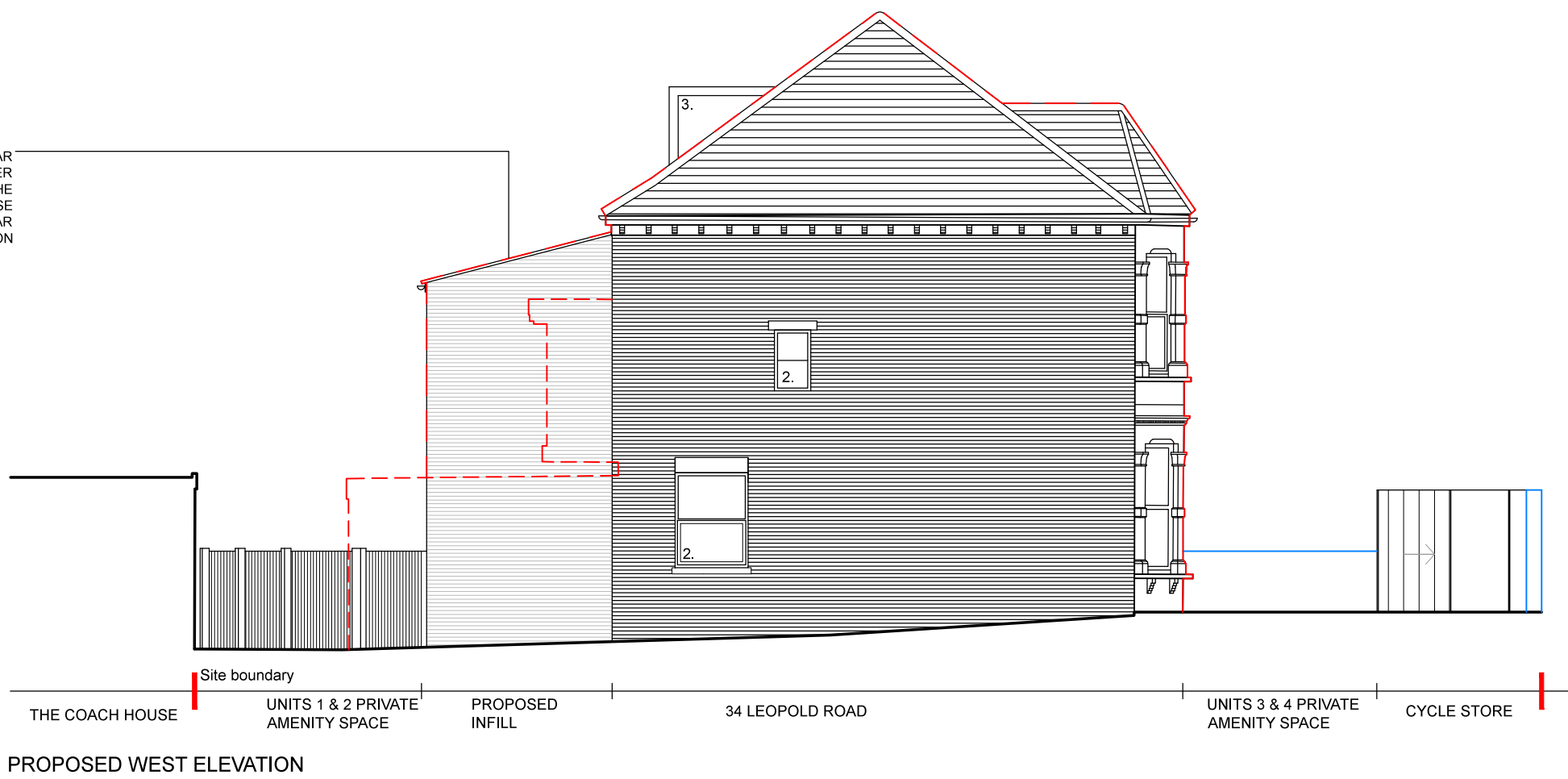
PROPOSED SOUTH ELEVATION



PROPOSED EAST ELEVATION

- KEY**
- PROPOSED BRICKWORK TO MATCH EXISTING
 - EXISTING BRICKWORK
 - PROPOSED ROOF TILES TO MATCH EXISTING
 - EXISTING ROOF TILES
 - LINE OF OBSCURED GLAZING
 - EXISTING BUILDING OUTLINE
1. EXISTING TIMBER WINDOWS
 2. NEW TIMBER SASH WINDOWS TO MATCH EXISTING
 3. NEW TIMBER FRAMED DORMER WINDOWS WITH OBSCURED GLAZING
 4. NEW TIMBER FRAMED SASHED WINDOWS TO MATCH EXISTING
 5. NEW TIMBER PANELLED DOOR TO MATCH EXISTING
 6. NEW TIMBER FRAMED GLAZED DOOR TO MATCH EXISTING WINDOWS

Page 156

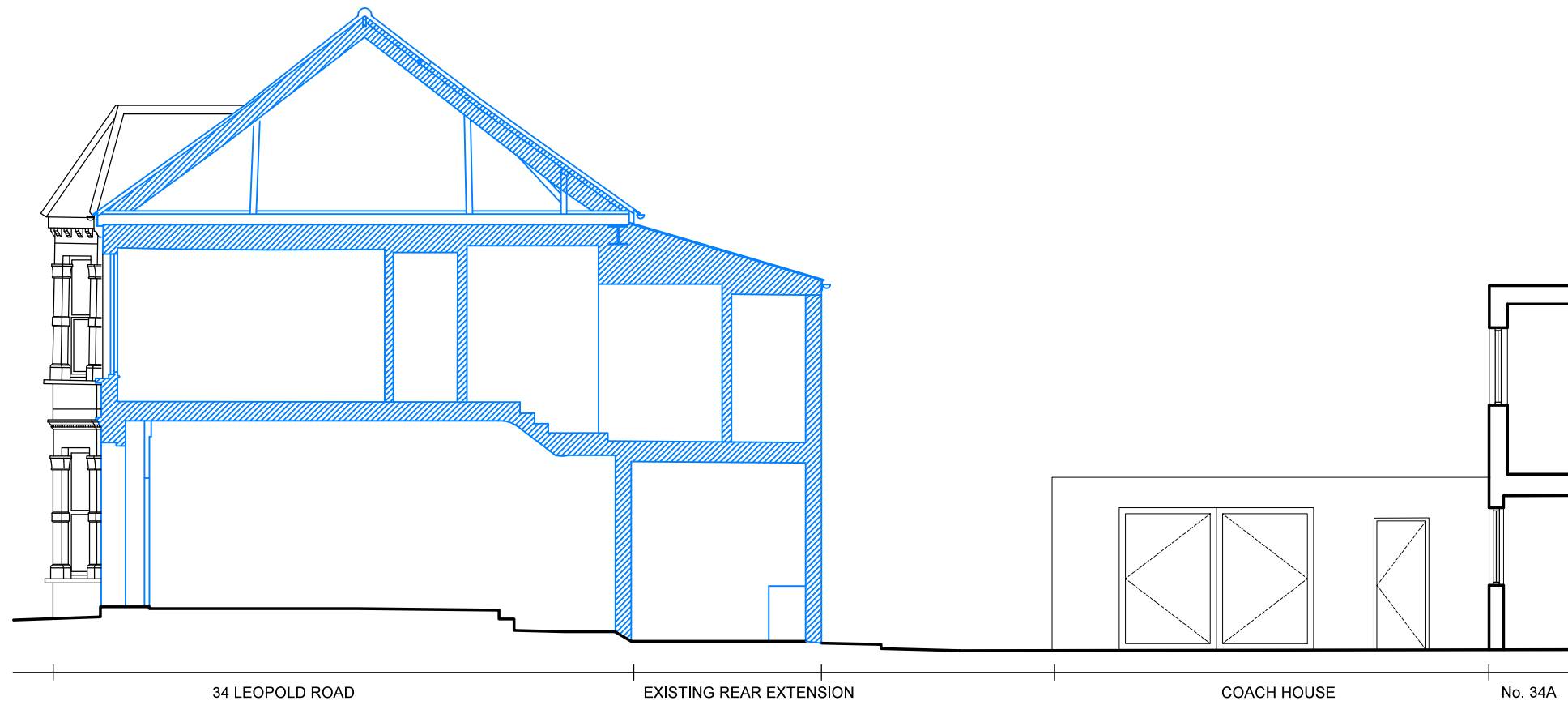


PROPOSED WEST ELEVATION

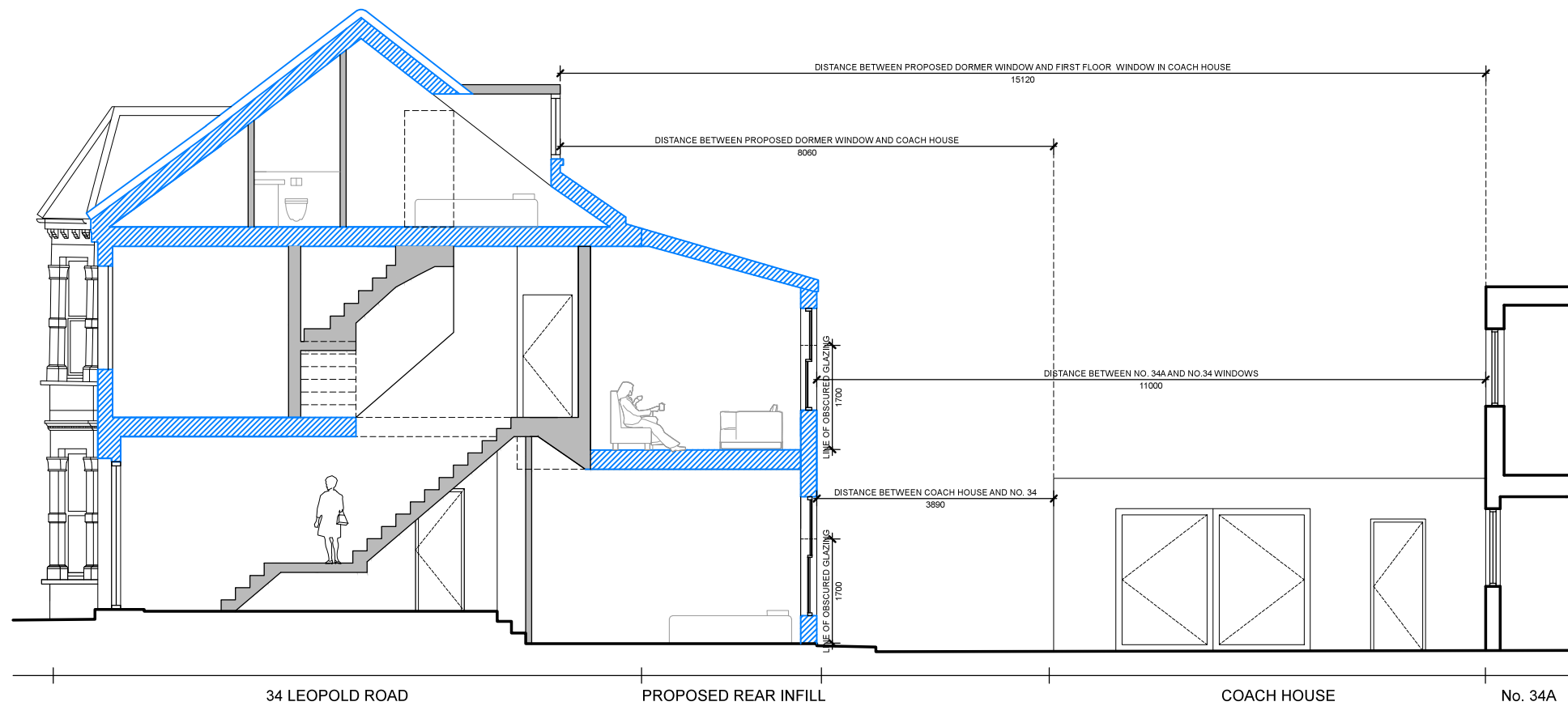
REVISION	DATE/DRAWN
D	NOTE TO REAR EXTENSION ADDED 23.09.15 MD
C	ISSUED FOR PLANNING 23.02.15 MD
B	NEW WINDOW ADDED TO WEST ELEVATION 12.02.15 MD
A	ISSUED FOR PLANNING 24.11.14 MD



PROJECT	LEOPOLD ROAD
DRAWING TITLE	PROPOSED EAST & WEST ELEVATIONS
DATE	SEPT 2015 SCALE 1:100 @ A3
DRAWN	MD CHECK MG
STATUS	PLANNING
JOB NUMBER	AI-2180
DRAWING NUMBER	LP-201 REV D





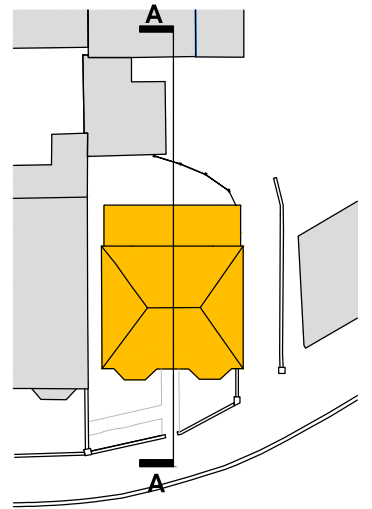
EXISTING SECTION A-A



PROPOSED SECTION A-A

1:100
0 1 2 3 4

 EXISTING STRUCTURE
 PROPOSED STRUCTURE

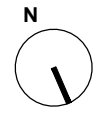


KEY PLAN





C	DIMENSIONS ADDED TO SHOW DISTANCE BETWEEN EXTENSION AND COACH HOUSE	23.09.15	MD
B	REAR WINDOWS REVISED	14.07.15	SR
A	ISSUED FOR PLANNING	10.07.15	MD
-	ISSUED FOR PLANNING	24.03.15	MD
REVISION		DATE/DRAWN	



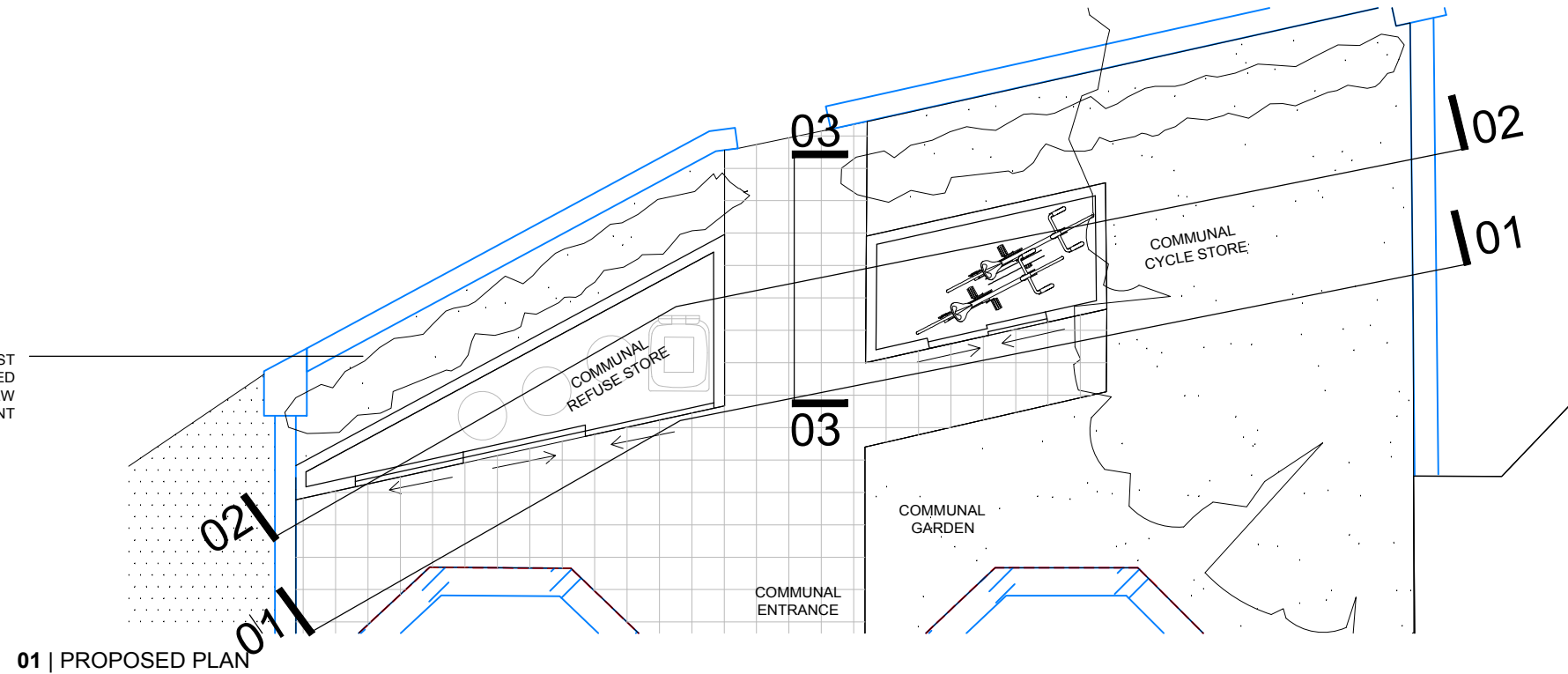
PROJECT	LEOPOLD ROAD		
DRAWING TITLE	PROPOSED & EXISTING SECTIONS A-A		
DATE	SEPT 2015	SCALE	1:100 @ A3
DRAWN	MD	CHECK	MG
STATUS	PLANNING		
JOB NUMBER	AI-2180		
DRAWING NUMBER	LP-300	REV	C



KEY

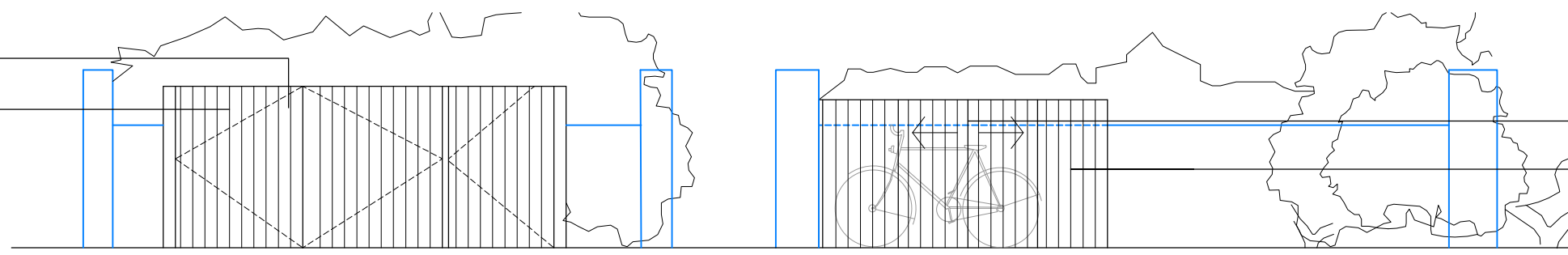
-  EXISTING RIGHT OF WAY
-  EXISTING BUILDING OUTLINE
-  PROPOSED PAVING
-  TIMBER CLADDING

EXISTING TREES TO SOUTH EAST TO BE REMOVED AND REPLACED WITH PLANTING TO SCREEN VIEW FROM STREET FRONT



01 | PROPOSED PLAN

VERTICAL TIMBER CLADDING
OUTWARD OPENING SIDE HUNG DOORS



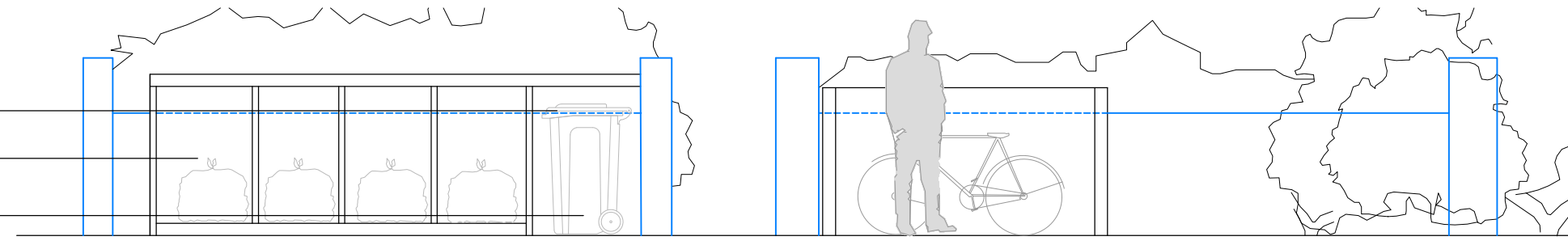
SLIDING DOORS
PROPOSED SECURE CYCLE STORE WILL ACCOMMODATE 2 BICYCLES ACCESSED VIA SLIDING DOORS FROM THE FRONT GARDEN



01 | PROPOSED FRONT ELEVATION

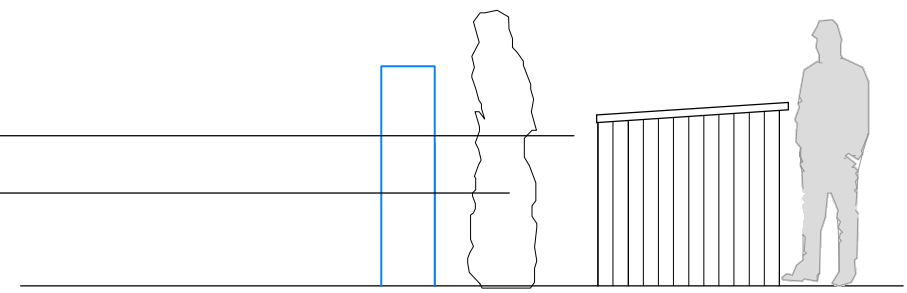
RECYCLING WHEELIE BIN
BLACK REFUSE SACK STORAGE

PROPOSED REFUSE STORE ACCOMMODATES A WHEELIE BIN AND 3 SACKS (1 PER FLAT). ACCESS IS PROVIDED TO THE STORE VIA PAVING FOR EASE OF USE



02 | PROPOSED INTERNAL ELEVATION

VERTICAL TIMBER CLADDING
NEW PLANTING PROPOSED TO SCREEN BOTH CYCLE/REFUSE STORES FROM STREET FRONT



03 | PROPOSED SIDE ELEVATION

REVISION	DATE/DRAWN	CHECK
B	CYCLE STORE AMENDED	05.04.16 NW
A	AMENDED CYCLE/REFUSE LAYOUT AND LANDSCAPING	29.01.16 JH
-	ISSUED FOR PLANNING	21.01.16 JH



PROJECT	LEOPOLD ROAD
DRAWING TITLE	PROPOSED REFUSE AND CYCLE STORE
DATE	JAN 2016
SCALE	1:100 @ A3
DRAWN	JH
CHECK	TR
STATUS	PLANNING
JOB NUMBER	AI-2180
DRAWING NUMBER	LP-400
REV	B

PLANNING APPLICATIONS COMMITTEE
21 April 2016

Item No:

UPRN

APPLICATION NO.

DATE VALID

15/P4735

11/12/2015

Address/Site Walnut Tree Cottage, 1 St John's Road, Wimbledon SW19 4PH

(Ward) Hillside

Proposal: Demolition of existing conservatory and erection of a single storey extension, excavation of basement with light wells, new boundary wall and associated landscaping

Drawing Nos 0863_PL.101 Rev I, 102 Rev L, 103 Rev H, 104 Rev I, 105 Rev J, 106 Rev I, 107 Rev H, 108 Rev I, 109 Rev G, 110 Rev F, 112 Rev A and Design and Access Statement, Structural Engineers Report and Construction Method Statement and Ground Investigation Report and Arboricultural Assessment and Tree Protection Method Statement

Contact Officer: Richard Allen (8545 3621)

RECOMMENDATION

GRANT Planning Permission subject to conditions

CHECKLIST INFORMATION

- Heads of agreement: Yes
- Is a screening opinion required: No
- Is an Environmental impact statement required: No
- Has an Environmental Impact Assessment been submitted: No
- Press notice- Yes
- Site notice-Yes
- Design Review Panel consulted-No
- Number neighbours consulted – 3
- External consultants: None
- Density: n/a
- Number of jobs created: n/a
- Archaeology Priority Zone: No

1. **INTRODUCTION**

- 1.1 This application has been brought to the Planning Applications Committee due to the number of objections received.

2. **SITE AND SURROUNDINGS**

- 2.1 The application site comprises a two storey end of terrace house with accommodation in the roof space situated on the west side of St John's Road and the corner of Thornton Road.
- 2.2 It is situated within the Wimbledon West Conservation Area (Sub-Area 21: St John's Road) and forms part of a row of four large Victorian cottages (1-4 St John's Road) arranged in such a manner that the front gardens facing St John's Road form the main amenity spaces, characterised by high boundary treatments to afford some privacy to the garden spaces.
- 2.3 The application site, 1 St John's Road, has a front entrance on St. John's Road, and exploits its corner position with a large gable on the longer elevation facing Thornton Road, which also contains a further entrance to the house. The vehicular access and off street parking space are also on the Thornton Road frontage.
- 2.4 The application site is within a Controlled Parking Zone (CPZ V0t). The house is not statutorily or locally listed.

3. **CURRENT PROPOSAL**

- 3.1 The application involves the demolition of the existing conservatory and erection of a single storey extension, formation of a new basement with associated light well, a new boundary wall; revised parking arrangements, a landscaping scheme, internal remodelling and associated external modifications including window alterations and installation of 3 x replacement roof lights.
- 3.2 The proposed single storey extension would be 4 metres in width and 3 metres in length and would have an eaves height of 2.8 metres. The extension would have a part flat roof/part mono-pitched roof with an overall height of 3 metres. It would have broadly the same footprint as the existing conservatory but would be re-located slightly further along the Thornton Road elevation and would form a new entrance hall linking in to the main living space..
- 3.3 It is also proposed to form a new basement principally under the footprint of most of the existing house as well as under the new side extension, with a 3m x4m lower terrace/light well and stairs leading up to the main garden adjacent to the new extension. It would provide a study, utility room and gym.

- 3.4 It is also proposed to replace the existing boundary treatment to both the St John's Road and the Thornton Hill frontages. The boundary wall would vary in height from 1.5/2 metres to 2.2 metres on the Thornton Road frontage due to the sloping nature of the road. Substantial planting would be undertaken behind the wall. On the St John's Road the wall would be 1.5 metres in height with planting behind. The boundary wall would be constructed in stock brickwork and timber gates would be provided to the Thornton Road frontage. The existing vehicular access would be widened to the width of the existing dropped kerb with the parking area altered to provide space for two cars, facilitated by the demolition of the conservatory and the revised siting of the replacement extension..
- 3.5 The proposal also involves internal alterations, installation of replacement windows and 3 x conservation style roof lights

4. **PLANNING HISTORY**

- 4.1 In February 2003 planning permission was granted for the retention of a conservatory (LBM Ref.2769).

5. **CONSULTATION**

- 5.1 The application has been advertised by site notice procedure and letters of notification to occupiers of neighbouring properties. In response 9 representations have been received from local residents. The comments are set out below:-
- There have been significant building works in this road over the last three years and another new planning application has just been submitted opposite this property in Thornton Road. Construction work is noisy and dusty and can restrict the traffic flow during lengthy periods of building.
 - If the application is to proceed, assurances that deliveries, skips and construction traffic and waste are tightly controlled during the week and at weekends.
 - parking is a problem in the area, what will happen if 3 or 4 spaces are removed for the period of the works?
 - It is likely that the ground water levels will be impacted by the proposed works making construction of foundations difficult and works may impact upon neighbours.
 - The proposed works may put other houses in the terrace at risk. These are very old and fragile Victorian houses on shallow foundations and removal of structural walls and the chimney is of concern.
 - There may be an underground stream in the vicinity and subsidence is a concern.
 - Number 3 was refused planning permission for a loft conversion on grounds of over development and would suggest that the proposals for number 1 go well beyond that and would put other properties at risk.

- the occupiers of 35 Thornton Road who's property abuts the application site is concerned that structural movement may occur to 35 due to construction works.
- The submitted ground investigation report states that ground water was found at around 3 metres on two occasions out of 3, and that the basement depth would be 3.3 metres. The proposed basement would therefore affect ground water flow and would make construction difficult and may affect 2 St John's Road
- The development would change the character of the area and may cause structural damage.

5.2 Tree Officer

The Tree Officer states that the submitted arboricultural report is acceptable and should form one of the approved documents. The proposed landscaping scheme will compensate for the trees removed as part of tree works application Ref.15/T2150. The proposed landscaping scheme should be secured through condition.

5.3 Future Merton

The Future Merton team has been consulted on the proposed basement construction and flood risk/ surface water drainage. The Future Merton team has reviewed all the submitted documents relevant to structural and land stability. The submitted Construction Method Statement (CMS) is satisfactory at this stage. A detailed CMS produced by the contractor which is reviewed by the structural engineer along with construction drawings would be required to be submitted and agreed prior to excavation works taking place on site. The Future Merton team also note that a Structural Engineers Report and Geo Technical and Ground Investigation Reports have been submitted as part of the application. A site specific ground investigation was undertaken by drilling of borehole and a stand pipe. Two boreholes encountered Made Ground to about 1m over soils considered to be Black Park Gravels to a maximum of 2m, which in turn overlie London Clay. Groundwater was not encountered during the initial drilling but was subsequently measured in borehole (DTS01) on a return visit dated 04/11/15 at a depth of 3.03m. The water level was measured at 2.87m below ground level during a return visit dated 18/11/15. The report is correct in acknowledging that water levels will vary depending generally on recent weather conditions and only long term monitoring of levels in standpipes will provide a measure of seasonal variations in groundwater levels, therefore we would recommend that this is undertaken prior to construction.

- 5.4 However, there does not appear to be any proposed drainage plans submitted which shows how surface water runoff from the site will be managed appropriately including SuDS. This is required for compliance with the London Plan Policy 5.13 and Merton's policy DM F2. We would seek that rates are restricted prior to leaving the site through provision of attenuation measures and the existing and proposed runoff rates are calculated accordingly. The Sustainable Urban Drainage system (SUDS) condition and informative should be included on any grant of planning permission in accordance with London Plan policy 5.13 and Merton's policy DM F2.

5.5 Conservation Officer

The application has addressed the minor concerns raised by officers at the pre-application meeting. Therefore there are no objections to the current proposals.

6. **POLICY CONTEXT**

6.1 Adopted Merton Core Strategy (July 2011)

CS14 (Design) and CS20 (Parking).

6.2 Sites and Policies Plan (July 2014)

DM 02 (Nature Conservation, Trees, Hedges and Landscape Features), DM F2 (Sustainable Urban Drainage Systems), DM D2 (Design Considerations in all Developments), DM D3 (Alterations and Extensions to Existing Buildings) and DM D4 (Managing Heritage Assets).

6.3 The London Plan (March 2015)

The relevant policies within the London Plan are 5.13 (Sustainable Drainage), 7.4 (Local Character) and 7.6 (Architecture).

7. **PLANNING CONSIDERATIONS**

7.1 The main planning considerations concern the design and conservation issues, neighbour amenity, impact of the basement construction, tree and parking issues.

7.2 Design and Conservation Issues

The application property is a small end of terrace Victorian cottage. The conservatory to be removed is a later 21st century addition and the proposed new extension is of a similar massing with a slightly revised siting and is of a discreet and restrained design, using materials sympathetic to the main building. The design and siting of the side extension is considered to be acceptable. The main part of the proposals involves the excavation of a basement beneath the original building and extension. The only visible aspect of these works would be the formation of a lower terrace/light well to the Thornton Road elevation. However, the light well would not be readily visible from the street, being screened by the extension and proposed boundary treatment as well as new landscaping. The widening of the vehicular access is small in scope and the extended parking area largely occupies the footprint of the demolished conservatory behind. There is no encroachment into the main front garden space and a comprehensive new landscaping scheme is also proposed. It is considered that the comprehensive refurbishment of the property together with replacement boundary treatment and planting would result in a positive improvement to the St John's Road/Thornton Road street scene and the Merton (Wimbledon West) Conservation Area. The proposals therefore accord with policies CS14, DM D2, DM D3 and DM D4.

7.4 Neighbour Amenity

The proposed single storey side extension would replace an existing conservatory on the side (Thornton Road) elevation of the building. The position of the extension would not have any impact upon neighbour amenity. The proposal is therefore considered to be acceptable in terms of policy DM D2 (Design Considerations in all Developments). The main concerns from neighbours relate to the construction of the basement and potential impact on structural stability and drainage, as well as minimising the impact of construction disturbance and nuisance. Suitable conditions relating to hours of construction, deliveries, dust suppression etc would be imposed. Basement issues are considered below.

7.5 Basement Impact

A number of representations comment on the provision of basement accommodation in the development and raise concerns over basement construction and the impact of basements upon the water table and potential damage to neighbouring properties.

7.6 The basement is mainly sited under the existing house as well as under the new extension, does not affect any trees of townscape value and the light well is sited to minimise its appearance. The basement therefore complies with policy DMD2 in respect of its site coverage, impact on vegetation and appearance. In terms of impact on structural stability and drainage, the applicant has provided a Ground Investigation Report and a Construction Method Statement. The statement concluded that:

- The structural proposals and construction methodology for the subterranean development at 1 St John's Road have been developed with due regard to the existing site constraints, the site specific and local ground conditions, local amenity and highway conditions.
- The ground and existing foundations have been investigated and understood, and this has informed the structural design and construction methodology.
- No live tree roots or desiccated soil were found during the investigations works. No trees will be affected by the basement development works.
- No buried services are located within the vicinity of the basement footprint, which is largely located below the existing house.
- The Strategic Flood Risk Assessment indicates that the site has not previously been, or is likely to be subject to surface water flooding.
- Groundwater has been monitored, and it is envisaged that any ground water inflows during excavation can be dealt with by local pumping.
- The basement structure has been designed to maintain the stability and integrity of the surrounding land and the existing buildings, structures and below ground services.
- The proposed works have been designed to comply with The London Borough of Merton 'Basement and Subterranean Development policy, section 6 – July 2014.

7.7 Further information was provided in response to the concerns expressed by residents about groundwater flows, ground movement and stability of excavation faces. The information submitted by the applicant in respect of the basement construction has been examined by the Future Merton team who have confirmed that the submitted Construction Method Statement (CMS) is satisfactory for this stage. A detailed CMS produced by the contractor which is reviewed and agreed by the Structural Engineer along with construction drawings would be required to be submitted before any excavation works take place onsite. A planning condition requiring the submission of a detailed Basement Construction Method Statement would therefore be required on any grant of planning permission. In terms management of surface water run-off a Sustainable Urban Drainage System would need to be implemented secured by an appropriate planning condition in accordance with London plan policy 5.13 and Merton's policy DM F2. The provision of basement accommodation is therefore considered to be acceptable in terms of policy DM D2 and DM F2.

7.8 Trees

The Council's Tree Officer has examined the submitted Arboricultural Impact Assessment and has no objections to the proposed works subject to conditions regarding tree protection (during construction works) and a landscaping scheme. The proposal is therefore considered to be acceptable in terms of policy DM 02.

7.9 Parking

The proposals involve an expansion of the existing off-street parking area to provide two spaces using the existing vehicular access from Thornton Road. The parking arrangements are considered to be acceptable in terms of policy CS20.

8.0 **CONCLUSION**

8.1 The proposed side extension and alterations to the fenestration of the building and new boundary treatment is considered to be acceptable in design terms and would preserve the character and appearance of the Merton (Wimbledon West) Conservation Area and would not affect neighbour amenity. The concerns of residents regarding basement construction are noted. However, the applicant has employed suitably qualified consultants to design the basement and undertake appropriate site investigations and develop a basement construction method statement. The submitted information concluded that the basement can be constructed in a satisfactory manner without unacceptable impact on stability or groundwater flows. The information has been examined by the Council's Flood Engineer and Structural engineer and is considered to be satisfactory subject to suitable conditions being imposed.. The basement construction works and the side extension and internal alterations would also be subject to approval under the Building Regulations and the requirements of party wall legislation. Appropriate planning conditions can also control hours of construction and

site working in order to protect neighbour amenity. Accordingly it is recommended that planning permission be granted.

RECOMMENDATION

GRANT PLANNING PERMISSION

Subject to the following conditions:-

1. A.1 Commencement of Development
2. A.7 Approved Drawings
3. B.1 (Approval of Facing Materials)
4. B.4 (Site Surface Treatment)
5. B.5 (Boundary Treatment)
6. C.2 (No Permitted Development Doors/Windows)
7. D.11 (Construction Times)
8. F.1 Landscaping Scheme
9. F.8 Site Supervision
10. The details of measures for the protection of the existing retained Silver Birch tree as contained in the approved document 'Arboricultural Assessment and Protection method Statement' dated 10 December 2015 shall be fully complies with. The proposed methods for the protection of the Silver Birch tree shall follow the sequence of events as detailed in the document and shown of the drawing titled 'Tree Protection Plan' and numbered TPP1_SU and shall be maintained until completion of site operations.

Reason for condition: To protect and safeguard the existing retained Silver Birch tree in accordance with the following Development Plan Policies for Merton: policy 7.21 of the London Plan 2015); policy CS13 of Merton's Adopted Core Planning Strategy (2011) and policy DM 02 of Merton's Sites and Policies Plan (2014).

11. Prior to commencement of development, a detailed Basement Construction Method Statement shall be submitted to and be approved in writing by the Local Planning Authority and the basement construction undertaken in accordance with the approved details.

Reason for condition: In the interest of neighbour amenity and to comply with policy DM D2.

12. No development approved by this permission shall be commenced until a scheme for the provision of surface water drainage has been implemented in accordance with details that have been submitted to and approved in writing by the local planning authority. Before these details are submitted an assessment shall be carried out of the potential for disposing of surface water by means of a sustainable drainage system (SuDS) to ground, watercourse or sewer in accordance with drainage hierarchy contained within the London Plan Policy 5.13 and the advice contained within the National SuDS Standards. Where a sustainable drainage scheme is to be provided, the submitted details shall:
- provide information about the design storm period and intensity, the method employed to delay (attenuate) and control the rate of surface water discharged from the site as close to greenfield runoff rates, as reasonably practicable, and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;

Reason for condition: To ensure satisfactory means of surface water drainage, to reduce the risk of flooding and to comply with the following Development Plan policies for Merton: policy 5.13 of the London Plan 2011, policy CS16 of Merton's Core Planning Strategy 2011 and policy DM F2 of Merton's Sites and Policies Plan 2014.

13. Informative:
It is the responsibility of the developer to make proper provision for drainage to ground, watercourses or a suitable sewer. In respect of surface water it is recommended that the applicant should ensure that storm flows are attenuated or regulated into the receiving public network through on or off-site storage. When it is proposed to connect to a combined public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Connections are not permitted for the removal of ground water. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required (contact no. 0845 850 2777).
14. H.9 (Construction Vehicles)
15. INF.1 (Party Wall Act)
16. INF.7 (Hardstanding)

This page is intentionally left blank

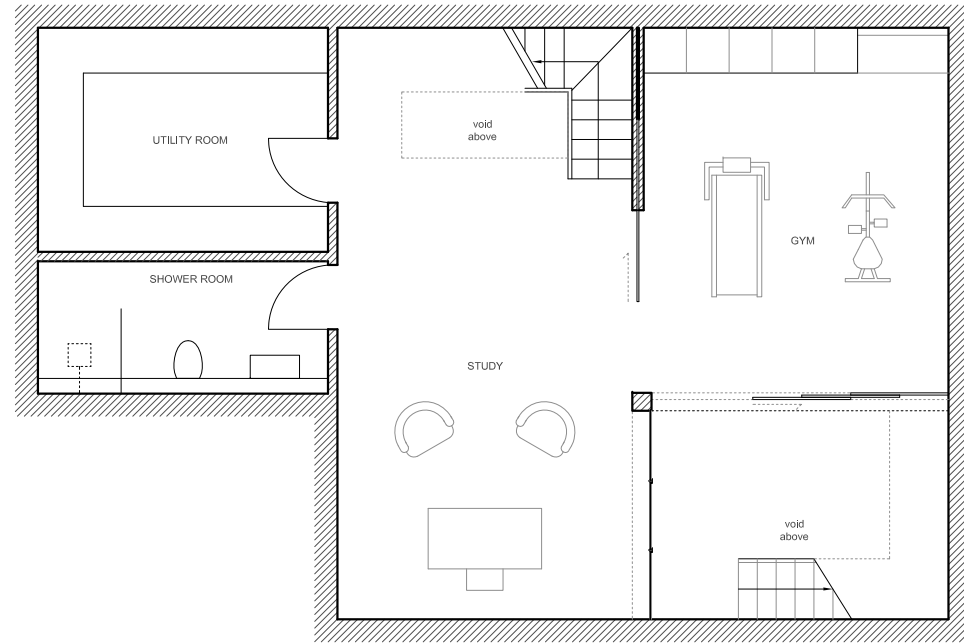
NORTHGATE SE GIS Print Template

Page 169



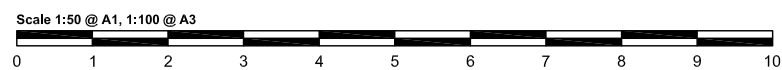
Text Details 1 St Johns Road

This material has been reproduced from Ordnance Survey digital map data with the permission of the controller of Her Majesty's Stationery Office, © Crown Copyright.



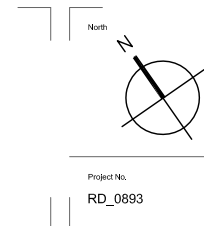
01 BASEMENT FLOOR PLAN PROPOSED

NOTES:
 ALL RIGHTS DESCRIBED IN CHAPTER IV OF THE COPYRIGHT AND PATENTS ACT 1988 HAVE BEEN GENERALLY ASSERTED.
 DRAWINGS ARE NOT FOR CONSTRUCTION UNLESS OTHERWISE STATED.
 REPORT ANY DRAWING INCONSISTENCIES TO THE ARCHITECT
 DO NOT SCALE - ALL DIMENSIONS TO BE CHECKED ON SITE
 ALL DIMENSIONS SHOWN ARE INDICATIVE AND MAY NOT ACCORD WITH ACTUAL BUILDING DIMENSIONS



REVISIONS:

- / 12.06.2015 Issued for client meeting
 - A 14.06.2015 Amendments following client meeting
 - B 28.07.2015 Labels adjusted
 - C 29.07.2015 ISSUED FOR PRE-APPLICATION ENQUIRY
 - D 06.11.2015 Amendments following pre-application enquiry
 - E 11.11.2015 Amendments following client comment
 - F 23.11.2015 Amendments following client comment
 - G 24.11.2015 Amendments following client comment
 - H 02.12.2015 Amendment to stair
 - I 04.12.2015 ISSUED FOR PLANNING
- RODÍČ DAVIDSON ARCHITECTS** is the trading name of bdAr Ltd



Client MR AND MRS CRAGGS	Project 1 ST JOHN'S ROAD, SW19 4PH
Scale 1:50 @ A1 / 1:100 @ A3	Drawn by PG
Project No. RD_0893	Checked by BD
Date MAY 2015	Drawing No. 0863_PL.101
	Rev I

RODÍČ DAVIDSON ARCHITECTS

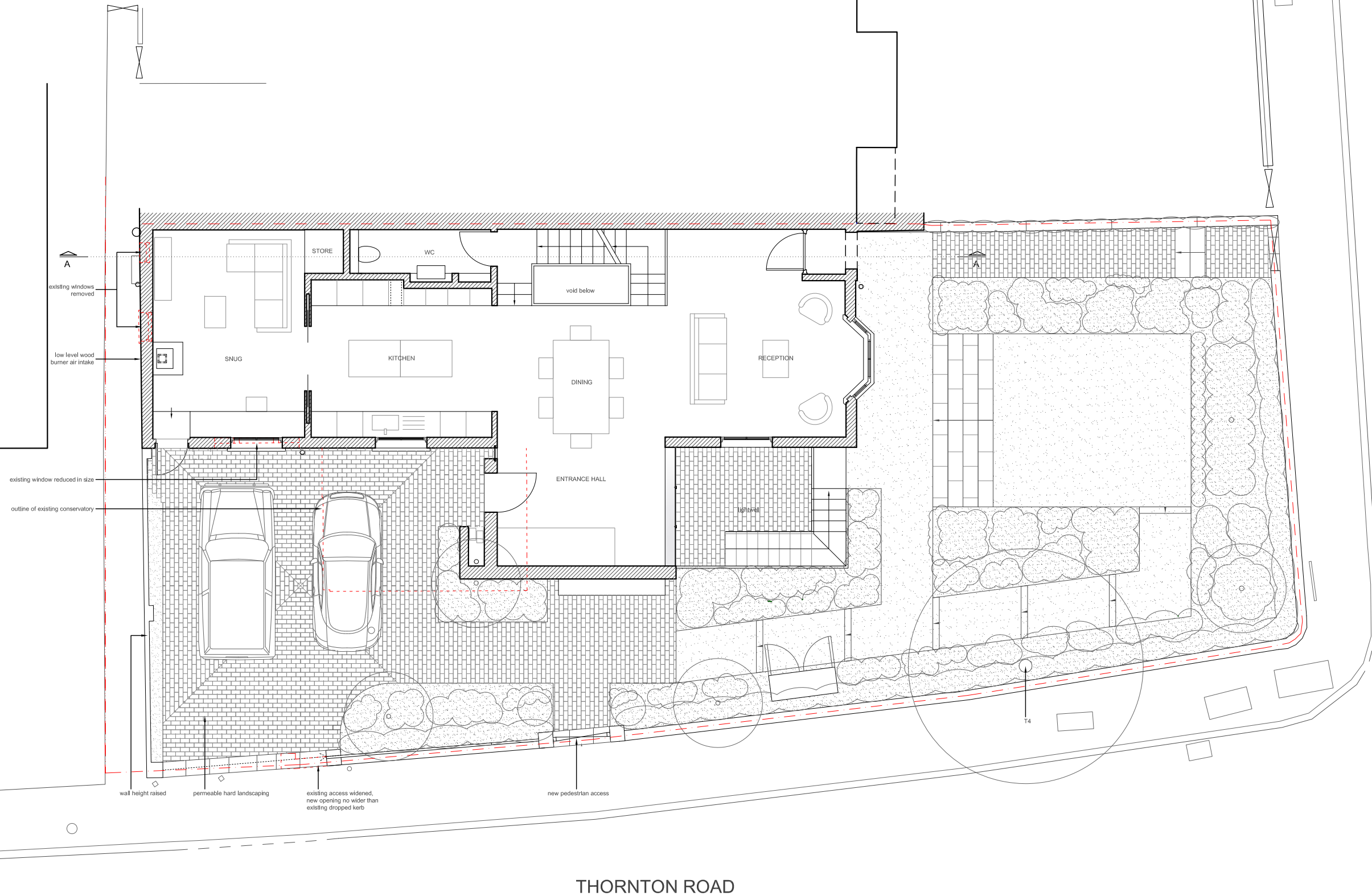
1 Pied Bull Yard
 London WC1A 2AE
 t: +44 (0)207 043 3551
 f: +44 (0)207 043 3552
 www.rodicdavidson.co.uk

Based on information by Design Base, Bath, dated April 2015 and revised July 2015
 Note: all double glazed PVC windows to be replaced with white-painted timber framed double glazed windows

PROPOSED

ST JOHN'S ROAD

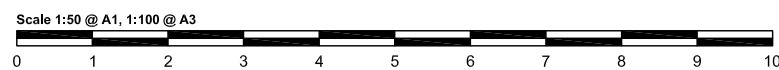
Page 171



THORNTON ROAD

01 GROUND FLOOR PLAN PROPOSED

NOTES:
 ALL RIGHTS DESCRIBED IN CHAPTER IV OF THE COPYRIGHT AND PATENTS ACT 1988 HAVE BEEN GENERALLY ASSERTED.
 DRAWINGS ARE NOT FOR CONSTRUCTION UNLESS OTHERWISE STATED.
 REPORT ANY DRAWING INCONSISTENCIES TO THE ARCHITECT
 DO NOT SCALE - ALL DIMENSIONS TO BE CHECKED ON SITE
 ALL DIMENSIONS SHOWN ARE INDICATIVE AND MAY NOT ACCORD WITH ACTUAL BUILDING DIMENSIONS



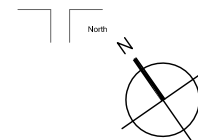
LEGEND

----- assumed boundary line

REVISIONS:

- D 29.07.2015 ISSUED FOR PRE-APPLICATION ENQUIRY
- E 12.10.2015 Revised extension
- F 26.10.2015 Revised extension
- G 06.11.2015 Amendments following pre-application enquiry
- H 11.11.2015 Amendments following client comment
- I 24.11.2015 Amendments following client comment
- J 01.12.2015 Addition of landscaping
- K 02.12.2015 Amendment to stair
- L 04.12.2015 ISSUED FOR PLANNING

RODIĆ DAVIDSON ARCHITECTS is the trading name of bdAr Ltd



Project No.
RD_0893

Client
MR AND MRS CRAGGS

Scale
1:50 @ A1 / 1:100 @ A3

Date
MAY 2015

Project
1 ST JOHN'S ROAD, SW19 4PH

Drawn by
PG
Drawing Title
PROPOSED GROUND FLOOR PLAN

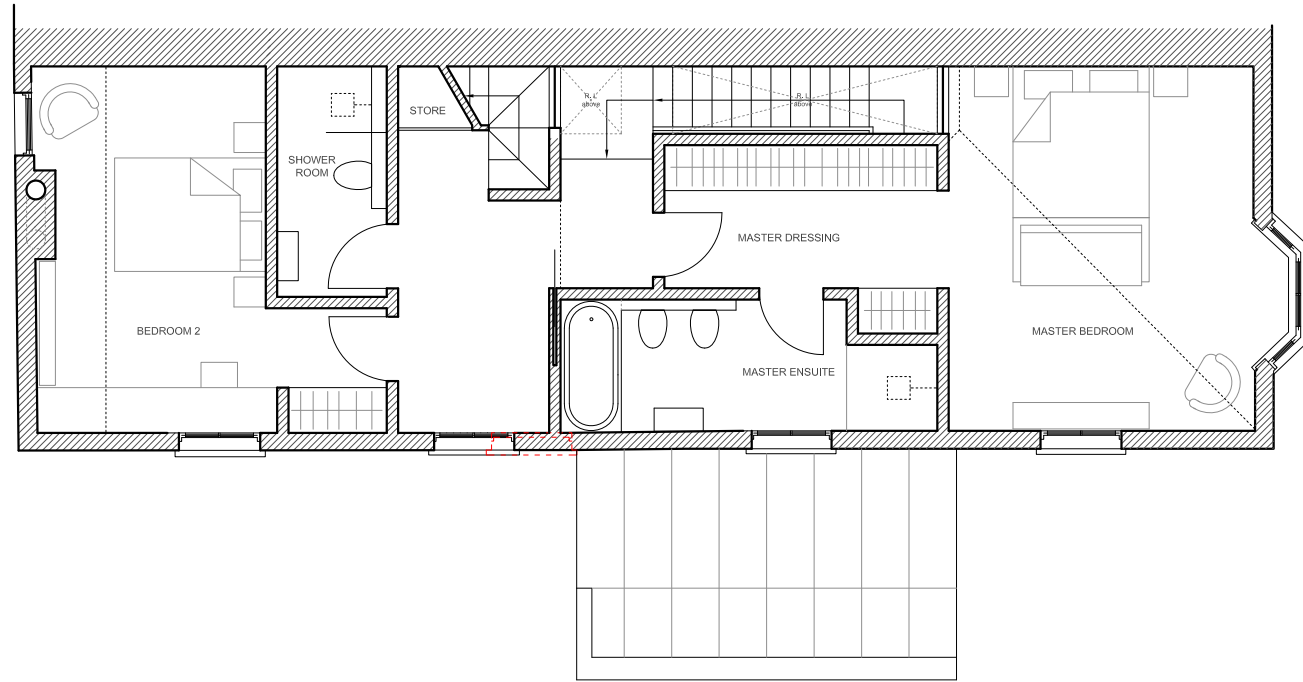
Checked by
BD
Drawing No.
0863_PL.102

Rev
L

RODIĆ DAVIDSON ARCHITECTS

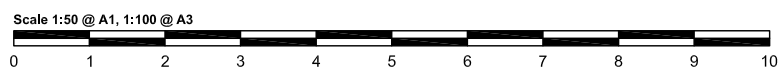
1 Pied Bull Yard
London WC1A 2AE
t: +44 (0)207 043 3551
f: +44 (0)207 043 3552

www.rodicdavidson.co.uk



01 FIRST FLOOR PLAN PROPOSED

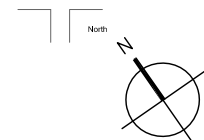
NOTES:
 ALL RIGHTS DESCRIBED IN CHAPTER IV OF THE COPYRIGHT AND PATENTS ACT 1988 HAVE BEEN GENERALLY ASSERTED.
 DRAWINGS ARE NOT FOR CONSTRUCTION UNLESS OTHERWISE STATED.
 REPORT ANY DRAWING INCONSISTENCIES TO THE ARCHITECT
 DO NOT SCALE - ALL DIMENSIONS TO BE CHECKED ON SITE
 ALL DIMENSIONS SHOWN ARE INDICATIVE AND MAY NOT ACCORD WITH ACTUAL BUILDING DIMENSIONS



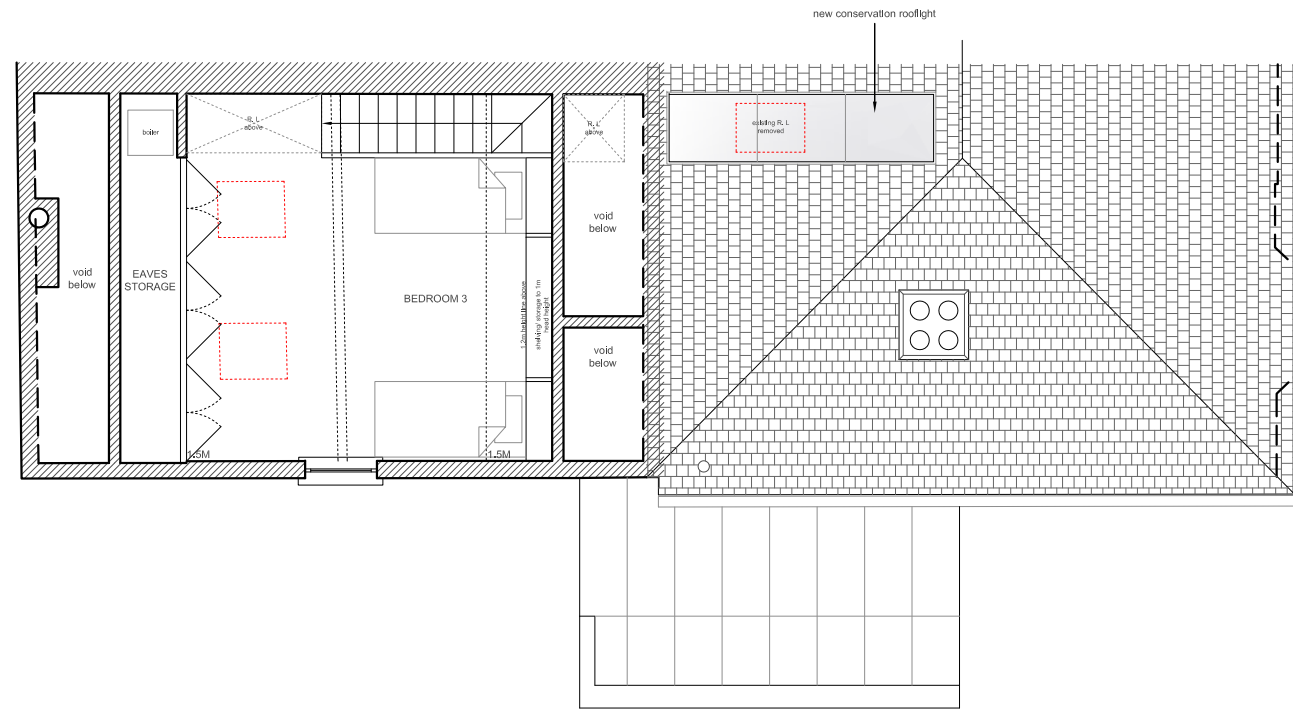
REVISIONS:

- I 12.06.2015 Issued for client meeting
- A 14.06.2015 Amendments following client meeting
- B 28.07.2015 Issued for comment
- C 28.07.2015 Amendment to chimney breast
- D 29.07.2015 ISSUED FOR PRE-APPLICATION ENQUIRY
- E 06.11.2015 Amendments following pre-application enquiry
- F 11.11.2015 Amendments following client comment
- G 02.12.2015 Amendment to stair
- H 04.12.2015 ISSUED FOR PLANNING

RODIĆ DAVIDSON ARCHITECTS is the trading name of bdAr Ltd

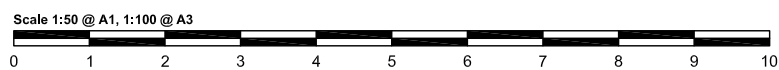


Client MR AND MRS CRAGGS	Project 1 ST JOHN'S ROAD, SW19 4PH	RODIĆ DAVIDSON ARCHITECTS 1 Pied Bull Yard London WC1A 2AE t: +44 (0)207 043 3552 f: +44 (0)207 043 3552 www.rodicdavidson.co.uk	
Scale 1:50 @ A1 / 1:100 @ A3	Drawn by PG		
Project No. RD_0893	Date MAY 2015	Checked by BD	Drawing No. 0863_PL.103 Rev H



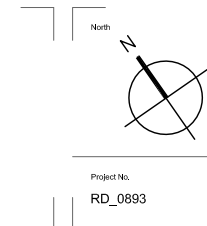
01 SECOND FLOOR PLAN PROPOSED

NOTES:
 ALL RIGHTS DESCRIBED IN CHAPTER IV OF THE COPYRIGHT AND PATENTS ACT 1988 HAVE BEEN GENERALLY ASSERTED.
 DRAWINGS ARE NOT FOR CONSTRUCTION UNLESS OTHERWISE STATED.
 REPORT ANY DRAWING INCONSISTENCIES TO THE ARCHITECT
 DO NOT SCALE - ALL DIMENSIONS TO BE CHECKED ON SITE
 ALL DIMENSIONS SHOWN ARE INDICATIVE AND MAY NOT ACCORD WITH ACTUAL BUILDING DIMENSIONS

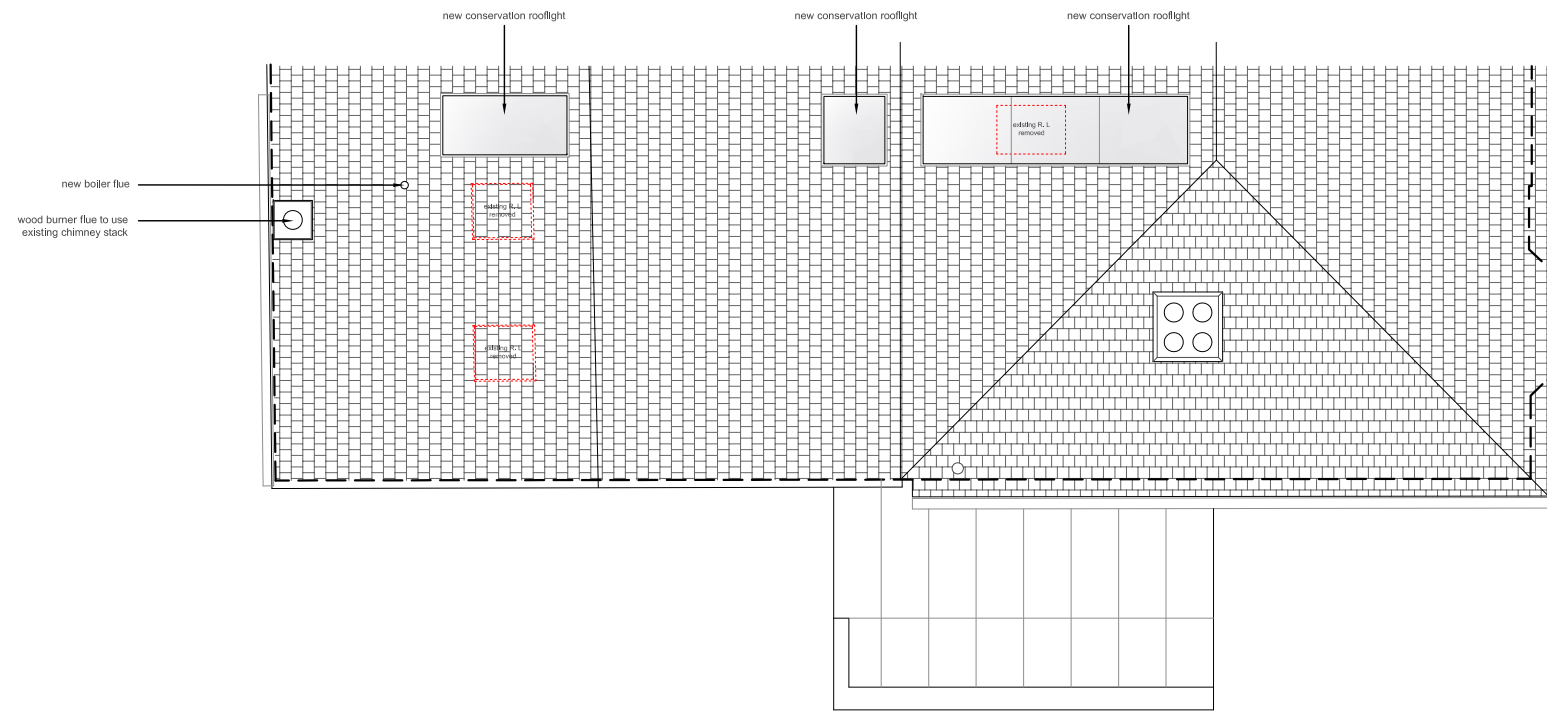


REVISIONS:

- / 12.06.2015 Issued for client meeting
 - A 14.06.2015 Amendments following client meeting
 - B 28.07.2015 Issued for comment
 - C 28.07.2015 Amendment to chimney breast
 - D 29.07.2015 ISSUED FOR PRE-APPLICATION ENQUIRY
 - E 06.11.2015 Amendments following pre-application enquiry
 - F 11.11.2015 Amendments following client comment
 - G 23.11.2015 Amendments following client comment
 - H 02.12.2015 Amendment to stair
 - I 04.12.2015 ISSUED FOR PLANNING
- RODİC DAVIDSON ARCHITECTS** is the trading name of bdAr Ltd

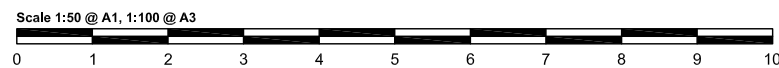


Client MR AND MRS CRAGGS	Project 1 ST JOHN'S ROAD, SW19 4PH	RODİC DAVIDSON ARCHITECTS			
Scale 1:50 @ A1 / 1:100 @ A3	Drawn by PG			Drawing Title PROPOSED SECOND FLOOR PLAN	
Project No. RD_0893	Date MAY 2015	Checked by BD	Drawing No. 0863_PL.104	Rev I	1 Pied Bull Yard London WC1A 2AE t: +44 (0)207 043 3551 f: +44 (0)207 043 3552 www.rodicdavidson.co.uk



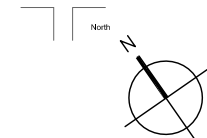
01 ROOF PLAN PROPOSED

NOTES:
 ALL RIGHTS DESCRIBED IN CHAPTER IV OF THE COPYRIGHT AND PATENTS ACT 1988 HAVE BEEN GENERALLY ASSERTED.
 DRAWINGS ARE NOT FOR CONSTRUCTION UNLESS OTHERWISE STATED.
 REPORT ANY DRAWING INCONSISTENCIES TO THE ARCHITECT
 DO NOT SCALE - ALL DIMENSIONS TO BE CHECKED ON SITE
 ALL DIMENSIONS SHOWN ARE INDICATIVE AND MAY NOT ACCORD WITH ACTUAL BUILDING DIMENSIONS



REVISIONS:
 D 29.07.2015 ISSUED FOR PRE-APPLICATION ENQUIRY
 E 06.11.2015 Amendments following pre-application enquiry
 F 06.11.2015 Amendment following client comment
 G 11.11.2015 Amendments following client comment
 H 23.11.2015 Amendments following client comment
 I 02.12.2015 Amendment to stair
 J 04.12.2015 ISSUED FOR PLANNING

RODÍČ DAVIDSON ARCHITECTS is the trading name of bdAr Ltd



Client MR AND MRS CRAGGS	Project 1 ST JOHN'S ROAD, SW19 4PH
Scale 1:50 @ A1 / 1:100 @ A3	Drawn by PG
Project No. RD_0893	Date MAY 2015
Checked by BD	Drawing No. 0863_PL.105
	Rev J

RODÍČ DAVIDSON ARCHITECTS

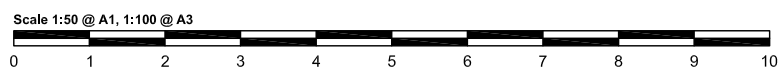
1 Pied Bull Yard
 London WC1A 2AE
 t: +44 (0)207 043 3551
 f: +44 (0)207 043 3552

www.rodicdavidson.co.uk



01 THORNTON ROAD ELEVATION (S.W)
 PROPOSED

NOTES:
 ALL RIGHTS DESCRIBED IN CHAPTER IV OF THE COPYRIGHT AND PATENTS ACT 1988 HAVE BEEN GENERALLY ASSERTED.
 DRAWINGS ARE NOT FOR CONSTRUCTION UNLESS OTHERWISE STATED.
 REPORT ANY DRAWING INCONSISTENCIES TO THE ARCHITECT
 DO NOT SCALE - ALL DIMENSIONS TO BE CHECKED ON SITE
 ALL DIMENSIONS SHOWN ARE INDICATIVE AND MAY NOT ACCORD WITH ACTUAL BUILDING DIMENSIONS



REVISIONS:

- / 12.06.2015 Issued for client meeting
 - A 14.06.2015 Amendments following client meeting
 - B 28.07.2015 Issued for comment
 - C 28.07.2015 Minor amendments
 - D 29.07.2015 ISSUED FOR PRE-APPLICATION ENQUIRY
 - E 06.11.2015 Amendments following pre-application enquiry
 - F 11.11.2015 Amendments following client comment
 - G 23.11.2015 Amendments following client comment
 - H 02.12.2015 Amendments to lightwell
 - I 04.12.2015 ISSUED FOR PLANNING
- RODÍČ DAVIDSON ARCHITECTS is the trading name of bdAr Ltd

North	Client	MR AND MRS CRAGGS	Project	1 ST JOHN'S ROAD, SW19 4PH
	Scale	1:50 @ A1 / 1:100 @ A3	Drawn by	PG
Project No.	Date	Checked by	Drawn No.	Rev
RD_0893	MAY 2015	BD	0863_PL.106	I

RODÍČ DAVIDSON ARCHITECTS

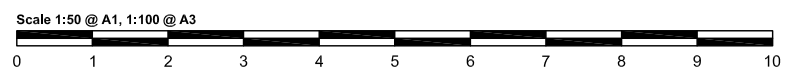
1 Pied Bull Yard
 London WC1A 2AE
 t: +44 (0)207 043 3551
 f: +44 (0)207 043 3552

www.rodicdavidson.co.uk



01 ST JOHN'S ROAD ELEVATION (S.E.)
 PROPOSED

NOTES:
 ALL RIGHTS DESCRIBED IN CHAPTER IV OF THE COPYRIGHT AND PATENTS ACT 1988 HAVE BEEN GENERALLY ASSERTED.
 DRAWINGS ARE NOT FOR CONSTRUCTION UNLESS OTHERWISE STATED.
 REPORT ANY DRAWING INCONSISTENCIES TO THE ARCHITECT
 DO NOT SCALE - ALL DIMENSIONS TO BE CHECKED ON SITE
 ALL DIMENSIONS SHOWN ARE INDICATIVE AND MAY NOT ACCORD WITH ACTUAL BUILDING DIMENSIONS

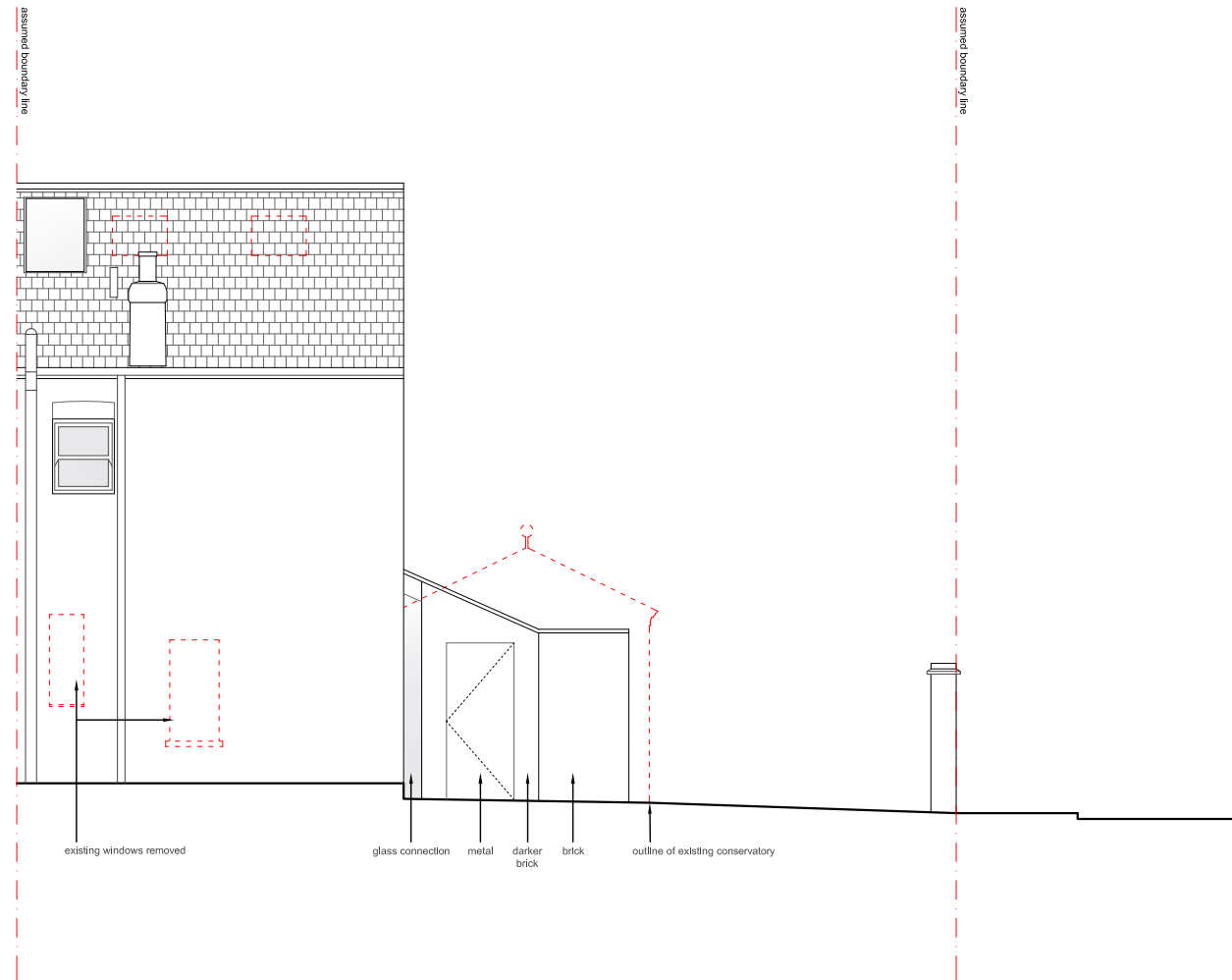


- REVISIONS:**
- / 12.06.2015 Issued for client meeting
 - A 14.06.2015 Amendments following client meeting
 - B 28.07.2015 Issued for comment
 - C 28.07.2015 Amendment to french doors
 - D 29.07.2015 ISSUED FOR PRE-APPLICATION ENQUIRY
 - E 06.11.2015 Amendments following pre-application enquiry
 - F 06.11.2015 Amended following client comment
 - G 02.12.2015 Amendments to lightwell
 - H 04.12.2015 ISSUED FOR PLANNING
- RODIĆ DAVIDSON ARCHITECTS is the trading name of bdAr Ltd

North	Client	MR AND MRS CRAGGS	Project	1 ST JOHN'S ROAD, SW19 4PH
	Scale	1:50 @ A1 / 1:100 @ A3	Drawn by	PG
Project No.	Date	Checked by	Drawng No.	Rev
RD_0893	MAY 2015	BD	0863_PL.107	H

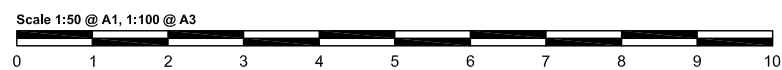
RODIĆ DAVIDSON ARCHITECTS

1 Pied Bull Yard
 London WC1A 2AE
 t: +44 (0)207 043 3551
 f: +44 (0)207 043 3552
 www.rodicdavidson.co.uk



01 NORTH WEST ELEVATION PROPOSED

NOTES:
 ALL RIGHTS DESCRIBED IN CHAPTER IV OF THE COPYRIGHT AND PATENTS ACT 1988 HAVE BEEN GENERALLY ASSERTED.
 DRAWINGS ARE NOT FOR CONSTRUCTION UNLESS OTHERWISE STATED.
 REPORT ANY DRAWING INCONSISTENCIES TO THE ARCHITECT
 DO NOT SCALE - ALL DIMENSIONS TO BE CHECKED ON SITE
 ALL DIMENSIONS SHOWN ARE INDICATIVE AND MAY NOT ACCORD WITH ACTUAL BUILDING DIMENSIONS



REVISIONS:
 / 02.12.2015 Issued for client comment
 A 04.12.2015 ISSUED FOR PLANNING

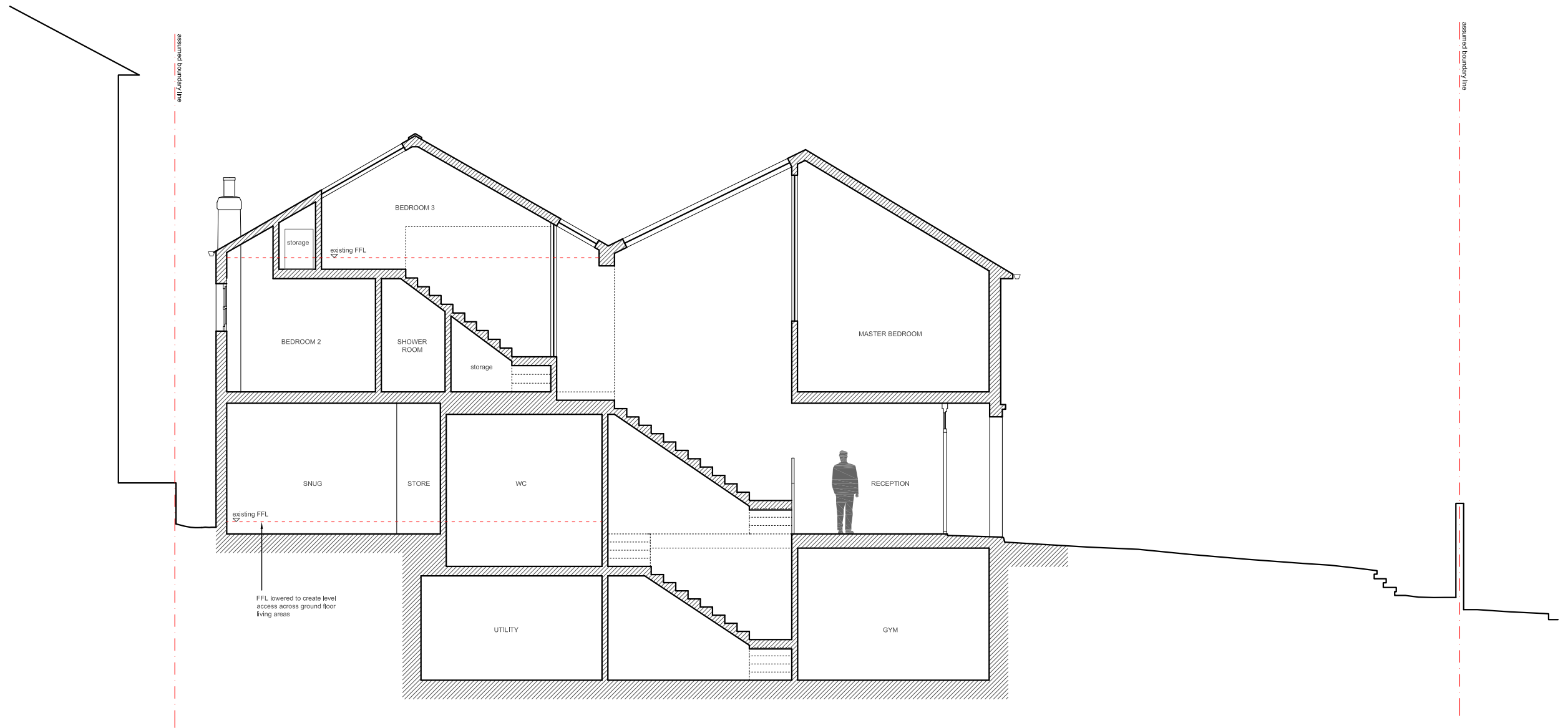
RODÍČ DAVIDSON ARCHITECTS is the trading name of bdAr Ltd

North	Client	MR AND MRS CRAGGS	Project	1 ST JOHN'S ROAD, SW19 4PH
	Scale	1:50 @ A1 / 1:100 @ A3	Drawn by	PG
Project No.	Date	Checked by	Drawng No.	Rev
RD_0893	MAY 2015	BD	0863_PL.112	A

RODÍČ DAVIDSON ARCHITECTS

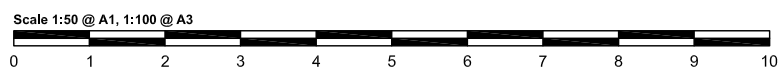
1 Pied Bull Yard
 London WC1A 2AE
 t: +44 (0)207 043 3551
 f: +44 (0)207 043 3552

www.rodicdavidson.co.uk



01 SECTION AA PROPOSED

NOTES:
 ALL RIGHTS DESCRIBED IN CHAPTER IV OF THE COPYRIGHT AND PATENTS ACT 1988 HAVE BEEN GENERALLY ASSERTED.
 DRAWINGS ARE NOT FOR CONSTRUCTION UNLESS OTHERWISE STATED.
 REPORT ANY DRAWING INCONSISTENCIES TO THE ARCHITECT.
 DO NOT SCALE - ALL DIMENSIONS TO BE CHECKED ON SITE.
 ALL DIMENSIONS SHOWN ARE INDICATIVE AND MAY NOT ACCORD WITH ACTUAL BUILDING DIMENSIONS.



REVISIONS:

- / 12.06.2015 Issued for client meeting
 - A 14.06.2015 Amendments following client meeting
 - B 28.07.2015 Issued for comment
 - C 28.07.2015 Re-labelling
 - D 29.07.2015 ISSUED FOR PRE-APPLICATION ENQUIRY
 - E 06.11.2015 Amendments following pre-application enquiry
 - F 11.11.2015 Amendments following client comment
 - G 23.11.2015 Amendments following client comment
 - H 02.12.2015 Minor amendments
 - I 04.12.2015 ISSUED FOR PLANNING
- RODÍČ DAVIDSON ARCHITECTS is the trading name of bdAr Ltd

North	Client MR AND MRS CRAGGS	Project 1 ST JOHN'S ROAD, SW19 4PH	
	Scale 1:50 @ A1 / 1:100 @ A3	Drawn by PG	Drawing Title PROPOSED SECTION AA
Project No. RD_0893	Date MAY 2015	Checked by BD	Drawing No. 0863_PL.108
		Rev I	Rev

RODÍČ DAVIDSON ARCHITECTS

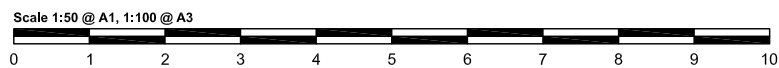
1 Pied Bull Yard
 London WC1A 2AE
 t: +44 (0)207 043 3551
 f: +44 (0)207 043 3552

www.rodicdavidson.co.uk



01 THORNTON ROAD STREET ELEVATION (S.W)
PROPOSED

NOTES:
ALL RIGHTS DESCRIBED IN CHAPTER IV OF THE COPYRIGHT AND
PATENTS ACT 1988 HAVE BEEN GENERALLY ASSERTED.
DRAWINGS ARE NOT FOR CONSTRUCTION UNLESS OTHERWISE STATED.
REPORT ANY DRAWING INCONSISTENCIES TO THE ARCHITECT
DO NOT SCALE - ALL DIMENSIONS TO BE CHECKED ON SITE
ALL DIMENSIONS SHOWN ARE INDICATIVE AND MAY NOT ACCORD WITH
ACTUAL BUILDING DIMENSIONS



REVISIONS:

- / 28.07.2015 Issued for comment
- A 28.07.2015 Minor amendments
- B 29.07.2015 ISSUED FOR PRE-APPLICATION ENQUIRY
- C 11.11.2015 Amendments following client comment
- D 23.11.2015 Amendments following client comment
- E 24.11.2015 Amendments following client comment
- F 02.12.2015 Minor amendments
- G 04.12.2015 ISSUED FOR PLANNING

RODIĆ DAVIDSON ARCHITECTS is the trading name of bdAr Ltd

North	Client	MR AND MRS CRAGGS	
	Scale	1:50 @ A1 / 1:100 @ A3	
Project No.	Date	Checked by	Rev
RD_0893	MAY 2015	BD	G
Project		1 ST JOHN'S ROAD, SW19 4PH	
Drawn by		PG	
Drawing Title		PROPOSED THORNTON ROAD STREET ELEVATION (SOUTH WEST)	
Drawing No.		0863_PL.109	

RODIĆ DAVIDSON ARCHITECTS

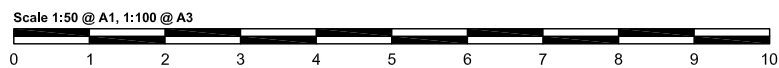
1 Pied Bull Yard
London WC1A 2AE
t: +44 (0)207 043 3551
f: +44 (0)207 043 3552

www.rodicdavidson.co.uk



01 ST JOHN'S ROAD STREET ELEVATION (S.E.)
PROPOSED

NOTES:
ALL RIGHTS DESCRIBED IN CHAPTER IV OF THE COPYRIGHT AND
PATENTS ACT 1988 HAVE BEEN GENERALLY ASSERTED.
DRAWINGS ARE NOT FOR CONSTRUCTION UNLESS OTHERWISE STATED.
REPORT ANY DRAWING INCONSISTENCIES TO THE ARCHITECT
DO NOT SCALE - ALL DIMENSIONS TO BE CHECKED ON SITE
ALL DIMENSIONS SHOWN ARE INDICATIVE AND MAY NOT ACCORD WITH
ACTUAL BUILDING DIMENSIONS



REVISIONS:

- / 28.07.2015 Issued for comment
- A 28.07.2015 Minor amendments
- B 29.07.2015 ISSUED FOR PRE-APPLICATION ENQUIRY
- C 11.11.2015 Amendments following client comment
- D 23.11.2015 Amendments following client comment
- E 24.11.2015 Amendments following client comment
- F 04.12.2015 ISSUED FOR PLANNING

RODIĆ DAVIDSON ARCHITECTS is the trading name of bdAr Ltd

North	Client	Project		
	MR AND MRS CRAGGS	1 ST JOHN'S ROAD, SW19 4PH		
	Scale	Drawn by	Drawing Title	
	1:50 @ A1 / 1:100 @ A3	PG	PROPOSED ST JOHN'S ROAD STREET ELEVATION (SOUTH EAST)	
Project No.	Date	Checked by	Drawing No.	Rev
RD_0893	MAY 2015	BD	0863_PL.110	F

RODIĆ DAVIDSON ARCHITECTS

1 Pied Bull Yard
London WC1A 2AE
t: +44 (0)207 043 3551
f: +44 (0)207 043 3552

www.rodicdavidson.co.uk

Committee: Planning Applications

Date: 21st April 2016

:

Wards: All

Subject: Planning Appeal Decisions

Lead officer: Head of Sustainable Communities

Lead member: Chair, Planning Applications Committee

Contact officer: Stuart Humphryes

Recommendation:

That Members note the contents of the report.

1. PURPOSE OF REPORT AND EXECUTIVE SUMMARY

- 1.1 For Members' information recent decisions made by Inspectors appointed by the Secretary of State for Communities and Local Government in respect of recent Town Planning Appeals are set out below.
- 1.2 The relevant Inspectors decision letters are not attached to this report, but can be seen on the Council web-site with the other agenda papers for this meeting at the following link:

http://www.merton.gov.uk/council/committee.htm?view=committee&com_id=165

DETAILS

Application Numbers: **15/P0499**
Site: 14 Burley Close, Streatham SW16 4QQ
Development: Change of use from 6 person HMO to 7 person HMO
Recommendation: Refuse Permission (Committee Decision)
Appeal Decision: **ALLOWED**
Date of Appeal Decision: 18th March 2016

Link to Appeal Decision

http://planning.merton.gov.uk/MVM.DMS/Planning%20Application/1000087000/1000087812/15P0499_Appeal%20Decision%20Notice.pdf

Link to COSTS

http://planning.merton.gov.uk/MVM.DMS/Planning%20Application/1000087000/1000087812/15P0499_Appeal%20Costs%20Decision.pdf

Application Number: 15/P0767
Site: Alpha Place, Garth Road, Morden SM4 4LT
Development: Variation of condition to allow continued use of site for storage & distribution (use class B8)
Recommendation: Refuse Permission (Committee Decision)
Appeal Decision: **ALLOWED**
Date of Appeal Decision: 23rd March 2016

Link to Appeal Decision

http://planning.merton.gov.uk/MVM.DMS/Planning%20Application/1000088000/1000088071/15P0767_Appeal%20Decision%20Notice.pdf

Application Number: 15/P4080
Site: 12 Glebe Path, Mitcham CR4 3AD
Development: Prior Approval for the erection of a single storey rear extension
Recommendation: Refuse Permission (Delegated Decision)
Appeal Decision: **ALLOWED**
Date of Appeal Decision: 4th March 2016

Link to Appeal Decision

http://planning.merton.gov.uk/MVM.DMS/Planning%20Application/1000091000/1000091220/15P4080_Appeal%20Decision%20Notice.pdf

Application Number: 15/P0578
Site: 52A Fortescue Road, Colliers Wood SW19 2EB
Development: Erection of roof extension with roof terrace
Recommendation: Refuse Permission (Delegated Decision)
Appeal Decision: **DISMISSED**
Date of Appeal Decision: 29th March 2016

Link to Appeal Decision

http://planning.merton.gov.uk/MVM.DMS/Planning%20Application/1000087000/1000087888/15P0578_Appeal%20Decision%20Notice.pdf

Application Number: 15/P1218
Site: 20 Sheridan Road SW19 3HP
Development: Erection of a new replacement dwellinghouse
Recommendation: Refuse Permission (Committee decision)
Appeal Decision: **DISMISSED**
Date of Appeal Decision: 16th March 2016

Link to Appeal Decision

http://planning.merton.gov.uk/MVM.DMS/Planning%20Application/1000088000/1000088499/15P1218_Appeal%20Decision%20Notice.pdf

Application Number: 15/P1271
Site: 90 Toynbee Road, Wimbledon Chase SW20 8SL
Development: Erection of a two storey side extension, a hip to gable and rear roof extension, a part single, part two storey rear extension and solar panels to roof.
Recommendation: Refuse Permission (Delegated Decision)
Appeal Decision: **DISMISSED**
Date of Appeal Decision: 23rd March 2016

Link to Appeal Decision

http://planning.merton.gov.uk/MVM.DMS/Planning%20Application/1000088000/1000088499/15P1218_Appeal%20Decision%20Notice.pdf

Application Number: 15/P2978
Site: 78 Vineyard Hill Road, Wimbledon Park SW19 7JJ
Development: Retention of existing front porch
Recommendation: Refuse Permission (Delegated Decision)
Appeal Decision: **DISMISSED**
Date of Appeal Decision: 30th March 2016

Link to Appeal Decision

http://planning.merton.gov.uk/MVM.DMS/Planning%20Application/1000090000/1000090169/15P2978_Appeal%20Decision%20Notice.pdf

Application Number: 15/P3515
Site: 80 Lambton Road, Raynes Park SW20 0LP
Development: Erection of rear roof extension
Recommendation: Refuse Permission (Delegated Decision)
Appeal Decision: **DISMISSED**
Date of Appeal Decision: 4th March 2016

Link to Appeal Decision

http://planning.merton.gov.uk/MVM.DMS/Planning%20Application/1000090000/1000090683/15P3515_Appeal%20Decision%20Notice.pdf

Application Number: 15/P3696
Site: 82 Durnsford Road, Wimbledon Park SW19 8HQ
Development: Erection of single storey rear extension
Recommendation: Refuse Permission (Delegated Decision)
Appeal Decision: **DISMISSED**
Date of Appeal Decision: 11th April 2016

Link to Appeal Decision

http://planning.merton.gov.uk/MVM.DMS/Planning%20Application/1000090000/1000090855/15P3696_Appeal%20Decision%20Notice.pdf

Alternative options

- 3.1 The appeal decision is final unless it is successfully challenged in the Courts. If a challenge is successful, the appeal decision will be quashed and the case returned to the Secretary of State for re-determination. It does not follow necessarily that the original appeal decision will be reversed when it is re-determined.
- 3.2 The Council may wish to consider taking legal advice before embarking on a challenge. The following applies: Under the provision of Section 288 of the Town & Country Planning Act 1990, or Section 63 of the Planning (Listed Buildings and Conservation Areas) Act 1990, a person or an establishment who is aggrieved by a decision may seek to have it quashed by making an application to the High Court on the following grounds: -
 1. That the decision is not within the powers of the Act; or
 2. That any of the relevant requirements have not been complied with; (relevant requirements means any requirements of the 1990 Act or of the Tribunal's Land Enquiries Act 1992, or of any Order, Regulation or Rule made under those Acts).

1 CONSULTATION UNDERTAKEN OR PROPOSED

- 1.1. None required for the purposes of this report.

2 TIMETABLE

- 2.1. N/A

3 FINANCIAL, RESOURCE AND PROPERTY IMPLICATIONS

- 3.1. There are financial implications for the Council in respect of appeal decisions where costs are awarded against the Council.

4 LEGAL AND STATUTORY IMPLICATIONS

- 4.1. An Inspector's decision may be challenged in the High Court, within 6 weeks of the date of the decision letter (see above).

5 HUMAN RIGHTS, EQUALITIES AND COMMUNITY COHESION IMPLICATIONS

- 5.1. None for the purposes of this report.

6 CRIME AND DISORDER IMPLICATIONS

- 6.1. None for the purposes of this report.

7 RISK MANAGEMENT AND HEALTH AND SAFETY IMPLICATIONS

- 7.1. See 6.1 above.

8 BACKGROUND PAPERS

- 8.1. The papers used to compile this report are the Council's Development Control service's Town Planning files relating to the sites referred to above and the agendas and minutes of the Planning Applications Committee where relevant.

Committee: Planning Applications Committee

Date: 21st April 2016

Wards: All

Subject: PLANNING ENFORCEMENT - SUMMARY OF CURRENT CASES

Lead officer: HEAD OF SUSTAINABLE COMMUNITIES

Lead member: COUNCILLOR LINDA KIRBY, CHAIR, PLANNING APPLICATIONS COMMITTEE

Contact Officer Sam Amoako-Adofo: 0208 545 3111
sam.amoako-adofo@merton.gov.uk

Recommendation:

That Members note the contents of the report.

1. Purpose of report and executive summary

This report details a summary of case work being dealt with by the Planning Enforcement Team and contains figures of the number of different types of cases being progressed, with brief summaries of all new enforcement notices and the progress of all enforcement appeals.

Current Enforcement Cases:	655 ¹ (729)	New Appeals:	0 (1)
New Complaints	80 (36)	Instructions to Legal	2
Cases Closed	154 (93)	Existing Appeals	4 (4)
No Breach:	82	<hr/>	
Breach Ceased:	72	TREE ISSUES	
NFA ² (see below):	-	Tree Applications Received	69 (69)
Total	154 (93)	% Determined within time limits:	95%
New Enforcement Notices Issued		High Hedges Complaint	0 (0)
Breach of Condition Notice:	0	New Tree Preservation Orders (TPO)	3 (1)
New Enforcement Notice issued	2	Tree Replacement Notice	0
S.215: ³	0	Tree/High Hedge Appeal	1
Others (PCN, TSN)	0		
Total	2 (0)		
Prosecutions: (instructed)	0 (0)		

Note (*figures are for the period (8th March – 11th April 2016)*). The figure for current enforcement cases was taken directly from M3 crystal report.

¹ Totals in brackets are previous month's figures

² confirmed breach but not expedient to take further action.

³ S215 Notice: Land Adversely Affecting Amenity of Neighbourhood.

2.00 New Enforcement Actions

- 2.01 45 Haydon Park Road SW19** - The Council issued a Temporary Stop Notice (TSN) on 21/3/16 to require the immediate cessation of the erection of an outbuilding with a high ridged roof which was about 4 metres high. The notice came into effect immediately when posted on the site and the works ceased. On 29/3/16 building works were allowed to proceed as the height of the proposed outbuilding had been reduced to fall within permitted development allowance.
- 2.02 Swinburn Court, 32 The Downs SW19** The Council served an enforcement notice on 15th March 2016 against the erection of a single storey outbuilding (garden shed) in the front/side garden of the block of flats. The requirement is to demolish the structure within three months of the effective date. The notice would come into effect on 30/04/16 unless there is an appeal prior to that date.

Some Recent Enforcement Actions

2.03 117 Haydons Road South Wimbledon SW19. The Council served a replacement notice on 9th February 2016 against the unauthorised conversion of the former public house into eight self-contained flats. The notice came into effect on 18th March 2016 as there was no appeal prior to that date and the requirement would be to cease using the building as eight self-contained flats within 6 months.

2.04 1 Dovedale Rise, Mitcham CR4 - The Council served an enforcement notice on 17th August 2015 against the erection of four outbuildings in the rear garden of the property with a requirement to demolish these structures within three months of the effective date. The notice came into effect on 25th September as there was no appeal prior to that date. The compliance period expired on 25th December 2015. **The structures have been removed and the file is recommended for closure.**

2.05 Burn Bullock, 315 London Road, Mitcham CR4. A Listed Buildings Repair Notice (LBRN) was issued on 27th August 2014 to require a schedule of works to be carried out for the preservation of the Building which is listed.

Listed Building Consent was granted on 3rd March 2015 to cover the required works which include the roof and rainwater goods, masonry, chimney and render repairs and woodwork, and glazing.

On 6/11/15 an extension (ref 15/P2924) was granted to allow the required works to be completed. Works are still on-going and should be completed by end of March 2016.

An agreed site inspection scheduled on Friday 8/4/16 to check the works for compliance has now been re-scheduled for Monday 25/4/16.

3.0 New Enforcement Appeals

3 Aberconway Road Morden SM4 - The Council served an enforcement notice on 4th February 2016 against the erection of a single storey side extension to the property following a refusal of retrospective planning permission to retain the structure. The owner is required to remove the extension and associated debris within one month of the effective date. An appeal has been registered to proceed under ground 'A' only – that planning permission should be granted for the development.

3.1 Existing enforcement appeals

- **4 Sunnymead Avenue Mitcham CR4-** The Council served an enforcement notice against a front roof alteration and rear dormer on 26/10/15. The notice would have come into effect on 5/12/15 but an appeal has been registered. The requirement is to demolish the unauthorised roof extension within one month.
- **24 Greenwood Close SM4** An enforcement notice was issued on 20th July 2015 against the unauthorised erection of a detached bungalow. The

notice would have come into effect on 25th August 2015 but an appeal has been registered.

The main requirement of the notice is for the unauthorised building to be demolished within three months.

The Council's statement was sent on 1/12/15. PINS have confirmed an extension to 5/1/16 at the request of the appellant as they want two other planning appeals for the same development to be co-joined and dealt with by one inspector. The next stage would be an inspector site visit.

3.2 Appeals determined –

- **163 Central Road, Morden SM4**, An enforcement notice was issued on 9th April 2015 against the unauthorised conversion of an outbuilding into residential accommodation. The notice would have come into effect on 19th May 2015 but an appeal was registered and is proceeding under written representations. The requirements are for the unauthorised use to cease and the landlord to remove all partitions, facilities, fixtures and fittings facilitating the use of the outbuilding as a bedsit.

The appeal was **dismissed** and the enforcement notice upheld

- **14 Glenthorpe Road Morden SM4** An enforcement notice was issued against the erection of a raised timber decking with uprights and a polycarbonate lean-to with roofing. The requirements are to remove these structures within one month of the effective date.

The appeal was **dismissed** on 16/3/16 and the structure should be removed by 16/4/16.

- **2 Cavendish Road, Colliers Wood SW19** - The Council issued an enforcement notice on 18th August 2015 against the unauthorised erection of a first floor extension to an existing structure. The main requirement is to remove the first floor structure within one month of the effective date.

The appeal was **dismissed** and the enforcement notice upheld as the Inspector was concerned about the impact of the extension on the living conditions of the occupiers of the neighbouring properties.

Prosecution case

None

3.4 Requested update from PAC

4. Consultation undertaken or proposed

None required for the purposes of this report

- 5 Timetable**
N/A
- 6. Financial, resource and property implications**
N/A
- 7. Legal and statutory implications**
N/A
- 8. Human rights, equalities and community cohesion implications**
N/A
- 9. Crime and disorder implications**
N/A
- 10. Risk Management and Health and Safety implications.**
N/A
- 11. Appendices – the following documents are to be published with this report and form part of the report Background Papers**
N/A
- 12. Background Papers**

This page is intentionally left blank